

Proposed Ground Floor Alterations & Ground Floor Extension

Lot B in DP 400662,
No 4 Heath Street,
Bankstown NSW 2200.

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| 11 | 11.12.24 | DA Application Plans | A.G |
| 10 | 28.10.24 | Amended Plans as Requested | DM |
| 9 | 09.10.24 | Skylights included as requested | CB |
| 8 | 02.10.24 | Amended plans as requested | CB |
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| 6 | 25.06.24 | DA Application | DM |
| 5 | 04.06.24 | Amended plans as requested | CB |
| 4 | 03.05.24 | Amended Plans as Requested | DM |
| 3 | 08.04.24 | Amended Plans as Requested | DM |
| 2 | 26.03.24 | Amended Plans as Requested | DM |
| 1 | 06.03.24 | Existing and Preliminary Plans | A.C. |
| REV | DATE | AMENDMENTS | BY |

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| 1. FALLS, SLIPS, TRIPS | | | 2. FALLING OBJECTS | | | 5. MANUAL TASKS | | | 7. CONFINED SPACES | | |
| a) WORKING AT HEIGHTS | | | LOOSE MATERIALS OR SMALL OBJECTS | | | Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. | | | EXCAVATION | | |
| DURING CONSTRUCTION | | | Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below. | | | All matenal packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. | | | Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barners to prevent accidental or unauthorised access to all excavations should be provided. | | |
| Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility. | | | 1. Prevent or restrict access to areas below where the work is being carried out. | | | Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrnal equipment) not carrying a current electrnal safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification. | | | ENCLOSED SPACES | | |
| DURING OPERATION OR MAINTENANCE | | | 2. Provide toeboards to scaffolding or work platforms. | | | | | | For buildings with enclosed spaces where maintenance or other access may be required: | | |
| For houses or other low-rise buildings where scaffolding is appropriate: | | | 3. Provide protective structure below the work area. | | | | | | Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided. | | |
| Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation. | | | 4. Ensure that all persons below the work area have Personal Protective Equipment (PPE). | | | | | | SMALL SPACES | | |
| For buildings where scaffold, ladders, trestles are not appropriate: | | | BUILDING COMPONENTS | | | 6. HAZARDOUS SUBSTANCES | | | For buildings with small spaces where maintenance or other access may be required: | | |
| Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barniers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation. | | | During construction, renovation or demolition of this building, parts of the structure including fabncated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility. | | | ASBESTOS | | | Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barners to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual actvity should be restricted in small spaces. | | |
| | | | | | | For alterations to a building constructed prior to 1990: | | | | | |
| | | | | | | If this existing building was constructed prior to: | | | | | |
| | | | | | | 1990 - it therefore may contain asbestos | | | | | |
| | | | | | | 1986 - it therefore is likely to contain asbestos | | | | | |
| | | | | | | either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure. | | | | | |
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Specification Notes

EXCAVATION:
The part of the site to be covered by the proposed building or buildings and an area at least 1 000mm wide around that part of the site or to the boundaries of the site, whichever is the lesser, shall be cleared or graded as indicated on the site works plan. Bulk earthworks shall be in accordance with ABCB Housing Provisions Standard 2022 Part 3.2 per NCC Volume 2 H1D3, or any Engineer's Instructions.
Top soil shall be cut to a depth sufficient to remove all vegetation.
Excavations for all footings shall be in accordance with the Engineer's Instructions, or part NSW 4.2.3 of the ABCB Housing Provisions Standard 2022 per NCC Volume 2 H1D4.

FOUNDATIONS # FOOTINGS:
Underfloor fill shall be in accordance with ABCB Housing Provisions Standards 2022 Part 4.2.4, per NCC Volume 2 H1D4.
Termite treatment shall be carried out in accordance with ABCB Housing Provisions Standard 2022 Part 3.4, per NCC Volume 2 H1D3.
Where relevant the following elements shall be in accordance with the Engineer's Instructions. Per NCC Volume 2 H1D4 these may reflect AS3600, AS2870, or the listed provisions from the ABCB Housing Provisions Standard 2022:
Site classification in accordance with Part 4.2.2 and AS2870
Site foundations for footings and slabs in accordance with Part 4.2.5
Slab edge support on sloping sites in accordance with Part 4.2.6
Stepped footing in accordance with Part 4.2.7
Edge rebates in accordance with Part 4.2.9.

The vapour barrier installed under slab-on-ground construction on shall be installed in accordance with ABCB Housing Provisions Standard 2022 NSW 4.2.8 (state variation), Damp-proofing membrane (including AS2870 as referenced).

Reinforcement shall conform and be placed in accordance with the Engineer's Instructions or ABCB Housing Provisions Standard 2022 4.2.11 including AS2870 as referenced.
Support to all reinforcement shall be used to correctly position and avoid any undue displacement of reinforcement during the concrete placement.
Except where otherwise approved by an engineer, structural concrete shall be in accordance with ABCB Housing Provisions Standard 2022 4.2.10.

Pre-mixed concrete shall be manufactured to comply with AS3600 with delivery dockets kept on site or available for inspection by the engineer, or the Local Authority.
Concrete shall be placed and compacted in accordance with good building practice (ABCB Housing Provisions Standard 2022 Part 4.2.10(c)).

All concrete slabs shall be cured in accordance with good practice (ABCB Housing Provisions Standard 2022 Part 4.2.10(c)).

Concrete slabs and footings shall not be placed until approval to do so is given by the engineer or the Local Authority.
Unless otherwise specified bench and floor levels indicated on the site plan shall be regarded as nominal.
Footings and slabs on ground shall be in accordance with the Engineer's Instructions or the relevant provisions of ABCB Housing Provisions Standard 2022 per NCC Volume 2 H1D4:
General requirements in accordance with Part 4.2.12
Stump footings in accordance with Part 4.2.13
Stiffened raft slabs on Class A, S and M sites in accordance with Part 4.2.14
Strp footings on Class A, S and M sites in accordance with Part 4.2.15
Footings for Class A sites in accordance with Part 4.2.16
Footings for single leaf masonry, mixed, and earth wall construction in accordance with Part 4.2.17
Footings for fireplaces on Class A and S sites in accordance with Part 4.2.18
Shrinkage control in accordance with Part 4.2.19
Concentrated loads in accordance with Part 4.2.20
Minimum edge beam dimensions in accordance with Part 4.2.21
Recessed areas of slabs in accordance with Part 4.2.22
All concrete slabs, other than those supported on solid ground or properly compacted fill, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the Engineer's Instructions.
Where specified, masonry foundation walls are to be built on specified footings to the thickness indicated on the plans and to the height of the underside of the floor bearer or bottom wall plate.
All sub floor spaces to suspended ground floors shall be provided with adequate ventilation in accordance with the ABCB Housing Provisions Standard 2022 Part 6.2 per NCC Volume 2 H2D5.
RETAINING WALLS
Where the Builder is required by the Schedule of Works annexed to this Specification, the Builder shall construct retaining walls as shown on the approved plans. The design and construction of earth retaining structures shall be in accordance with AS4678 as referenced in NCC Volume 2 H1D3.
Where a retaining wall is not included in the Schedule of Works, the construction of any retaining wall shall be the responsibility of the Owner
DRAINAGE
In both sewerred and unsewerred areas any bath, wash basin, kitchen waste, wash tubs, pedestal pan and the floor grate to a shower recess shall be located in the position shown on the plan (refer to Schedule of Works); and waste pipes with traps shall be provided to the above fittings and connected to the drainage system. The whole of the work is to be performed in accordance with NCC Volume 3 and AS/NZS3500 series and requirements of the sewerage authority concerned.
The Builder will provide and install a septic system where applicable to the requirements of the Local Authority and in

accordance with remanufacture's instructions.
Drainage shall be carried out in accordance with the ABCB Housing Provisions Standard 2022 Part 3.3 and AS/NZS3500.3 per NCC Volume 2 H2D2, and the requirements of NCC Volume 3.
Stormwater drainage shall be carried out in accordance with the ABCB Housing Provisions Standard 2022 Part 3.3.5, NCC Volume 3 and AS/NZS3500.3.
The Builder will allow for the supplying and laying of stormwater drains as shown on the site plan.
Surface water drainage shall be provided in accordance with ABCB Housing Provisions Standard 2022 Part 3.3.3.
Where subsoil drainage is required it shall be carried out in accordance with ABCB Housing Provisions Standard 2022 Part 3.3.4.
TIMBER FRAMING
All timber framing shall comply with NCC Volume 2 Part H1D6(4), or alternative structural framing shall be to structural engineer's details and certification. These may reflect any of the following: Timber structure design to AS1720.1
Nailplated timber roof trusses per AS1720.5
Residential construction in non-cyclonic areas per AS1684.2 or AS1684.4
Residential construction in cyclonic areas per AS1684.3
Installation of particleboard flooring per AS1860.2
Timber Engineered products may be used provided their design comply with the NCC and they are installed in accordance with the manufacturer's instructions.
The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.
All floor framing is to be framed at the level shown on the plan.
Wall framing is to be erected plumb and straight and securely fastened to the floor framing or floor slab. The interface between masonry veneer and wall framing will conform with AS3700 or AS4773.1 and AS4773.2, or conform with ABCB Housing Provisions Standard 2022 Part 5.2, per NCC Volume 2 H1D5.
All solid timber lintels shall conform to the AS1684.2 or AS1684.4.
Glue laminated beams conforming to AS1328 or laminated veneer lumber beams to manufacturer's specification and data sheets may also be used.
Where roof truss construction is used, trusses shall be designed in accordance with AS1720 and be erected, fixed and braced in accordance with the manufacturer's instructions.
Bracing units shall be determined and installed in accordance with the Engineer's Instructions or AS1684 as appropriate for the design wind velocity for the site.
Bracing shall be evenly distributed throughout the building.
Strip and sheet timber floors shall be installed in accordance with the AS1684.

Per NCC Volume 2 H4D2 and H4D3, the selection, installation and waterproofing of wet area floors shall conform to:
The ABCB Housing Provisions Standard 2022 Part 10.2; or AS3740 and Clauses 10.2.1 to 10.2.6 and Clause 10.2.12 of the ABCB Housing Provisions Standard 2022; or
The manufacture installation guides when listed in the Schedule of Works.
Roofs shall be pitched to the slope shown on plan. The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.
Metal fascias shall be installed in accordance with the manufacturer's instructions and shall meet the requirements of ABCB Housing Provisions Standard 2022 Part 7.2, 9.2.1, 9.2.3 and 9.2.9.
Unless otherwise specified and where required by the NCC posts supporting carports, verandas and porches shall be timber suitable for external use.
All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have corrosion protection appropriate to the site in accordance with AS1684
Where a hot water storage unit or solar panels are supported by the roof structure, the structure shall be specifically designed to support all imposed loads.
STEEL FRAMING
Steel framing shall be installed in accordance with the manufacturer's recommendations and NCC Volume 2 H1D6(3). This may reflect AS4100, AS/NZS4600 or the NASH Standard 'Residential and Low Rise Steel Framing'
Structural steel shall be designed and constructed in accordance with the manufacturer's recommendations and NCC Volume 2 Part H1D6(5). This may reflect AS4100, AS/NZS4600 or the Housing Provisions Standard 2022 Part 6.3 where allowed under H1D6(6).
ROOFING CLADDINGS
All roof cladding is to comply with the relevant structural performance and weathering requirements of the NCC and be installed as per the manufacturer's specifications.
The Builder shall cover the roof of the dwelling with approved tiles as selected. The roof shall be fixed and waterproofed in accordance with AS2050 or the ABCB Housing Provisions Standard 2022 Part 7.3 per NCC Volume 2 H1D7(3). Roofing adjacent to valleys should be fixed so as to eliminate water penetration. Where roof tiles are made of natural products slight variation in colour is acceptable.
The Builder shall provide and install a metal roof together with accessories as determined in the contract documents in accordance with AS1562.1 or the ABCB Housing Provisions Standard 2022 7.2 per NCC 2022 H1D7(2), and the manufacturer's recommendations.
Except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing of sheets shall be in accordance with the manufacturer's instructions as required for the appropriate design and wind speed.

Gutters and downpipes as determined in the contract documents shall be manufactured and installed
in accordance with AS/NZS 3500.3 or the ABCB Housing Provisions Standard 2022 Part 7.4, per NCC Volume 2 H2D6.
Materials used for flashings, fasteners, gutters and downpipes and shall be compatible
Sarking under tile roof coverings must comply with and be fixed in accordance with ABCB Housing Provisions Standard 2022 Part 7.3.4 or AS2050. Where required an anti ponding device or board shall be installed per ABCB Housing Provisions Standard 2022 Part 7.3.5 or AS2050.
Flashings shall comply with, and be installed in accordance with the ABCB Housing Provisions Standard 2022 Part 7.2.7 or AS1562.1 for metal roofs; and ABCB Housing Provisions Standard 2022 Part 7.3.3 or AS2050 for tiled roofs.
MASONRY
All masonry construction and shall comply with AS3700, or AS4773.1 and AS4773.2, or ABCB Housing Provisions Standard 2022 Parts 5.2 to 5.7 as relevant, per NCC 2022 Volume 2 H1D5 and H1D4.
Masonry units shall comply with AS3700, or AS4733.1 and AS4773.2, or ABCB Housing Provisions Standard 2022 Part 5.6.2.
Concrete blocks are to be machine pressed, of even shape, well cured and shall comply with NCC Volume 2 H1D5 and H2D4.
Concrete blockwork shall be constructed in accordance with NCC Volume 2 H1D5 and H2D4.
Autoclaved aerated concrete blocks shall be in accordance with the manufacturer's product specification at the time the work is being carried out. Autoclaved aerated concrete wall cladding shall be in accordance with ABCB Housing Provisions Standard 2022 Part 7.5 or AS5146.1 per NCC Volume 2 H1D7(4).
All damp proof course materials and installations shall comply with ABCB Housing Provisions Standard 2022 Part 5.7.3 and 5.7.4, or AS3700, or AS4773.1 and AS4773.2.
The damp proof membrane shall be visible in the external face of the masonry in which it is placed and shall not be bridged by any applied coatings, render or the like.
Where required open vertical joints (weepholes) must be created in the course immediately above any Damp Proof Course or flashing at centres in accordance with ABCB Housing Provisions Standard 2022 Part 5.7.5, or AS3700, or AS4773.1 and AS4773.2.
Cavities for masonry veneer shall be in accordance with the ABCB Housing Provisions Standard 2022 Part 5.7.2, or AS3700, or AS4773.1 and AS4773.2.

Mortar mixes and joint tolerances shall comply with ABCB Housing Provisions Standard 2022 Parts 5.6.3 and 5.6.4, or AS3700, or AS4773.1 and AS4773.2.
Masonry accessories shall comply with ABCB Housing Provisions Standard 2022 Part 5.6
Vertical articulated joints shall be constructed in accordance with ABCB Housing Provisions Standard 2022 Part 5.6.8, or AS3700, or AS4773.1 and AS4773.2.
Veneer wall ties shall comply with ABCB Housing Provisions Standard 2022 Part 5.6.5 and AS/NZS2699.1, or AS3700 or AS4773.1 and AS4773.2.
Lintels used to support masonry above openings in walls shall comply with ABCB Housing Provisions Standard 2022 Part 5.6.7, or AS3700 or AS4773.1 and AS4773.2, per NCC Volume 2 H1D5(1). Alternatively, lintels shall comply with ABCB Housing Provisions Standard 2022 Part 6.3.5 or AS4100 per NCC Volume 2 H1D6(3).
Lintels are to be provided to each wall leaf and are to be corrosion protected to a degree appropriate for the site environment and location of the lintel within the structure, in accordance with ABCB Housing Provisions Standard 2022 Part 5.6.7, or AS3700 or AS4773.1 and AS4773.2. The durability class shall be as defined in AS2699.3.
Engaged piers in masonry construction shall comply with the relevant provisions of ABCB Housing Provisions Standard 2022 Parts 5.2.6 (masonry veneer) or 5.4.2 (unreinforced single leaf masonry), or AS3700, or AS4773.1 and AS4773.2.
Isolated masonry piers shall comply with ABCB Housing Provisions Standard 2022 Part 5.5, or AS4773.1 and AS4773.2, or AS3700 as modified by NCC Volume 2 H1D5.
All exposed face brickwork shall be cleaned with an approved cleaning system. Care should be taken not to damage brickwork or joints and other fittings.
CLADDING # LININGS
Timber and composite external wall cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details or ABCB Housing Provisions Standard 2022 Part 7.5, per NCC Volume 2 H1D7(4).
Where required, the specified materials shall be used to line soffits at eaves, open verandas and porches in accordance with ABCB Housing Provisions Standard 2022 Part 7.5.5
Flashings to openings in external walls shall comply with ABCB Housing Provisions Standard Part 7.5.6.
Parapet cappings shall comply with ABCB Housing Provisions Standard 2022 Part 7.5.8.
Ground clearances for external cladding shall comply with ABCB Housing Provisions Standard 2022 Part 7.5.7.
Autoclaved aerated concrete wall cladding shall be designed and constructed in accordance with AS5146.1.
Metal wall cladding shall be in accordance with AS1562.1 per NCC Volume 2 H1D7(5).

Unless otherwise specified, internal linings to walls and ceilings in other than wet areas shall be of gypsum plasterboards.
Plasterboard sheets are to be of a minimum 10 mm thick with recessed edges to facilitate a smooth set finish. Internal angles to walls are to be set from floor to ceiling.
Where specified, suitable cornice moulds shall be fixed at the junction of all walls and ceilings. Alternatively the joint may be set as required for vertical internal angles.
Wet area linings are to be fixed in accordance with the manufacturer's recommendations. The ceiling access hole shall be of similar material to the adjacent ceiling.
JOINERY
All joinery work (metal and timber) shall be manufactured and installed according to accepted building practices.
External door frames shall be suitable for the exposed conditions and to receive doors. Internal jamb linings shall be suitable to receive doors as specified in the contract documents. Manufactured door frames shall be installed in accordance with the manufacturer's instructions.
All internal and external timber door and door sets shall be installed in accordance with accepted building practice and specific manufacturer's instructions.
Sliding and other aluminium windows and doors shall be installed in accordance with manufacturer's recommendations and AS2047. All glazing shall comply with ABCB Housing Provisions Standard Part 8.2, AS2047 or AS1288, per NCC Volume 2 H1D8, and any commitments outlined in the relevant BASIX Certificate.
Architraves and skirting as nominated on the plans or listed in the Schedule of Works shall be installed in accordance with accepted building practice.
Units shall be installed to manufacturer's recommendations. Bench tops shall be of a water resistant material.
SERVICES
All plumbing shall comply with the requirements of NCC Volume 3 and the relevant supply authority.
All work shall be carried out by a licensed plumber.
Fittings, as listed in the Schedule of Works, shall be supplied and installed to manufacturer's specifications.
Fittings, hot water systems and any rainwater harvesting systems shall be appropriate to satisfy any commitment outlined in the relevant BASIX Certificate.
All electrical work is to be carried out by a licensed electrical contractor to AS/NZS3000 Electrical installations (known as the Australian/New Zealand Wiring Rules) plus any other relevant regulations. The location of lights, switches, power points and the like, is to be nominated in the contract documents.
Unless otherwise specified, the electrical service shall be 240 volt, single phase supply.
All installation (including LPG) shall be carried out in accordance with AS5601.1, the relevant regulations and the rules and requirements of the relevant supply authority.

FIRE SAFETY
Where required for fire performance the selection of materials, design and installation shall comply with the provisions of ABCB Housing Provisions Standard 2022 Part 9, per NCC Volume 2 Part H3
Construction of external wall shall comply with ABCB Housing Provisions Standard 2022 Part 9.2.
Construction of separating walls and floors shall comply with ABCB Housing Provisions Standard 2022 Part 9.3.
Construction of any garage top dwelling in NSW shall comply with ABCB Housing Provisions Standard 2022 NSW Part 9.4.
Smoke and heat alarms shall be installed in accordance with ABCB Housing Provisions Standard 2022 NSW Part 9.5.1, and Parts 9.5.2 to 9.5.4.
Where required evacuation lighting shall be installed in accordance with ABCB Housing Provisions Standard 2022 Part 9.5.5.
HEALTH # AMENITY
All internal wet areas are to be waterproofed in accordance with NCC Volume 2 H4D2 and H4D3.
Waterproofing shall comply with:
ABCB Housing Provisions Standard 2022 Part 10.2; or AS3740 and Clauses 10.2.1 to 10.2.6 and Clause 10.2.12 of the ABCB Housing Provisions Standard 2022; or the manufacture installation guides when listed in the Schedule of Works.
External tiled decks and balconies, and roofing systems outside the scope of NCC Volume 2 H1D7(2) and (3), where required are to be waterproofed in accordance with AS4654.1 and AS4654.2 and relevant manufacturer's specifications, per NCC Volume 2 2022 H2D8.
Room heights shall comply with ABCB Housing Provisions Standard 2022 Part 10.3, per NCC Volume2 H4D4.
The building facilities shall be installed as indicated on the plan, or in accordance with ABCB Housing Provisions Standard 2022 Part 10.4, per NCC Volume 2 H4D5.
Natural and artificial lighting shall be installed as indicated on the plans, or in accordance with ABCB Housing Provisions Standard 2022 Part 10.5, per NCC Volume 2 H4D6.
Ventilation shall be installed as indicated on the plans, and shall comply with ABCB Housing Provisions Standard 2022 Part 10.6 or AS1668.2, per NCC Volume 2 H4D7.
Where required sound insulation shall comply with ABCB Housing Provisions Standard 2022 Part 10.7, per NCC Volume 2 H4D8.
For construction approval applications submitted on or after 1 October 2023, condensation management shall be provided in accordance with ABCB Housing Provisions Standard 2022 Part 10.8, per NCC 2022 Volume 2 H4D9.

| | | | | | | | | | | |
|--|----------------|--|--|-----------------------------------|--|---|---|---|---|--|
| NOTE: ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: | CLIENT: | | JOB No: | |  | P: (02) 4647-2324 E: info@32degreesbuilding.com.au A: Unit 1/14 Bluetts Drive, Smeaton Grange, NSW, 2567  CONNECT WITH US  |  | P: (02) 7252-5330 E: info@sydneydraftingconceptsanddesign.com.au A: Suite 106, Level 1, 351 Oran Park Drive, Oran Park, NSW, 2570. W: Sydneydraftingconcepts.com.au   | CLIENT'S SIGNATURE: _____ DATE: _____ I accept and understand the plans and documents that have been provided to me by Sydney Drafting Concepts & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting Concepts & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting Concepts & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting Concepts & Design Pty Ltd.  COPYRIGHT |
| | FACADE: | Mr & Mrs Yu | | 24035 | | | | | | |
| | SPECIFICATION: | - | | DRAWN: SDC DATE: 11.12.24 Rev: 11 | | | | | | |
| | SCALE: | SITE ADDRESS: | | CHECKED: -- SHEET: 3 | | | | | | |
| | NTS | Lot B in DP 400662, No 4 Heath Street, Bankstown NSW 2200. | | DA Application | | | | | | |

Specification Notes

Where required a pliable building membrane shall comply with, and be installed in accordance with the following:

- NCC Volume 2 2019 Amendment 1 Part 3.8.7.2 (applications made prior to 1 October 2023); or
- ABCB Housing Provisions Standard 2022 Part 10.8.1 (applications made from 1 October 2023).

When required a ventilated roof space shall be provided in accordance with:

- NCC Volume 2 2019 Amendment 1 Part 3.8.7.4 (applications made prior to 1 October 2023); or
- ABCB Housing Provisions Standard 2022 Part 10.8.3 (applications made from 1 October 2023).

SAFE MOVEMENT & ACCESS

Design and construction of stairways and ramps shall comply with ABCB Provisions Standard 2022 Part 11.2, per NCC Volume 2 H5D2.

Design and construction of barriers and handrails shall comply with ABCB Housing Provisions Standard 2022 Part 11.3, per NCC Volume 2 H5D3. In bedrooms, openable windows shall be protected in accordance with ABCB Housing Provisions Standard 2022 Part 11.3.7. In rooms other than bedrooms, openable windows shall be protected in accordance with ABCB Housing Provisions Standard 2022 Part 11.3.8.

ENERGY EFFICIENCY

For development consent applications submitted before 1 October 2023 and for alterations and additions, provision and installation of energy efficiency measures shall be as outlined within the BASIX certificate per NCC Volume 2 2019 Amendment 1 NSW Addition NSW 2, and where not defined by BASIX shall comply with NCC Volume 2 2019 Amendment 1, NSW Part 3.12.1, NSW Part 3.12.2, NSW 3.12.3, NSW Part 3.12.4 and NSW Part 3.12.5.

For development consent applications submitted on or after 1 October 2023, provisions and installation of energy efficiency measures shall be as outlined within the BASIX certificate per NCC Volume 2 2022 NSW Part H6, and where not defined by BASIX shall comply with ABCB Housing Provisions Standard 2022 NSW Part 13.2, NSW Part 13.4 and NSW Part 13.7, per NCC Volume 2 2022 NSW Part H6D2.

Where thermal insulation is used in the building fabric or services, such as air conditioning ducting or hot water systems, it shall be installed in accordance with manufacturer's recommendations to meet the R-Values required by the NCC or as outlined in the relevant BASIX Certificate for NSW.

ANCILLARY FEATURES

Where the Builder is required by the Schedule of Works annexed to this Specification, the Builder shall construct any swimming pool as shown on the approved plans. Where constructed a swimming pool shall be provided with safety barriers in accordance with AS1926.1 and AS1926.2, or Clause 9 of the Swimming Pools Regulation 2018 for spa pools, per NCC Volume 2 2022 NSW H7D2(1). The recirculation system shall comply with AS1926.3 per NCC Volume 2 2022 NSW H7D2(2).

Where a swimming pool is not included in the Schedule of Works, the construction of any swimming pool and associated safety barriers and recirculation systems shall be the responsibility of the Owner.

Where a balcony or deck is attached to an external wall it shall comply with ABCB Housing Provisions d 2022 Part 12.3, per NCC Volume 2 H1D11 or the engineered specifications. d 2022 Part 12.3, per NCC Volume 2 H1D11 or the engineered specifications.

Where the Builder is required by the Schedule of Works annexed to this Specification, the construction or installation of a boiler, pressure vessel, fireplace or heating appliance shall comply with AS/NZS2918 or ABCB Housing Provisions Standard 2022 Part 12.4, per NCC Volume 2 H7D5.

Where not included in the Schedule of Works, the construction and installation of any fireplace or heating appliance shall be the responsibility of the Owner.

In alpine areas construction shall comply with ABCB Housing Provisions Standard 2022 Part 12.2, per NCC Volume 2 H7D3.

In bushfire prone areas construction shall comply with AS3959, or NASH Standard - Steel Framed Construction in Bushfire Areas; except as amended by Planning for Bushfire Protection and as modified by development consent following consultation with the NSW Rural Fire Service, or bushfire safety authority for the purposes of integrated development, per NCC Volume 2 2022 NSW H7D4.

In flood hazard areas, construction shall comply with ABCB Standard for Construction of Buildings in Flood Hazard Areas, per NCC Volume 2 H1D10. Flood Hazard Areas, per NCC Volume 2 H1D10.

TILING

Tiles shall be as listed in the Schedule of Works or as selected by the Owner. Cement mortar and other adhesives shall comply with AS3958.1 or tile manufacturer's specifications.

Installation of tiles shall be in accordance with AS3958.1 or the manufacturer's recommendations and accepted building practices.

Where practicable, spacing between tiles should be even and regular.

Expansion joints shall be installed in accordance with AS3958.1 or the tile manufacturer's specifications.

All vertical and horizontal joints between walls and fixtures e.g. bench top, bath, etc. and wall/floor junctions shall be filled with flexible mould resistant sealant.

All joints in the body of tiled surfaces shall be neatly filled with appropriate grout material as specified by the tile manufacturer or accepted building practice.

As tiles are made of natural products a slight variation in colour is acceptable.

Tiles are to be fixed to the substrate with adhesives that are compatible with the substrate and any waterproofing material.

Wall surfaces shall be tiled with selected tiles and accessories where indicated by the contract documents.

Floors shall be tiled to areas where indicated by the contract documents with selected tiles. Tiles shall be laid in a sand and cement mortar or using an adhesive, where required, edge strips or angle to exposed edges in doorways or hob-less showers in wet areas shall be provided in accordance with BCB Housing Provisions Standard 2022 Part 10.2 or AS3740, per NCC Volume 2 H4D2 and H4D3. Adequate falls shall be provided to floor wastes in accordance with ABCB Housing Provisions Standard 2022 Part 10.2.12.

PAINTING

All paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's specifications. The colours used shall be as listed in the Schedule of Works or other relevant contract document. All surfaces to be painted shall be properly prepared to manufacturer's instructions.

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HOUSE NAME:
Custom Design

FACADE:
Traditional

SPECIFICATION:
STANDARD

SCALE:
NTS

GARAGE HAND:
RH

CLIENT:
Mr & Mrs Yu
-

SITE ADDRESS:
**Lot B in DP 400662,
No 4 Heath Street,
Bankstown NSW 2200.**

JOB No:
24035

DRAWN:
SDC


CHECKED:
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DATE:
11.12.24


SHEET:
4

Rev:
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DA Application



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Alterations and Additions

Certificate number: A1752990_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 11 December 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



| Project address | |
|--|--|
| Project name | 24035 - 4 Heath Street, Bankstown NSW/ 2200_02 |
| Street address | 4 HEATH Street BANKSTOWN 2200 |
| Local Government Area | Canterbury-Bankstown Council |
| Plan type and number | Deposited Plan DP400662 |
| Lot number | B |
| Section number | - |
| Project type | |
| Dwelling type | Dwelling above existing building |
| Type of alteration and addition | The estimated development cost for my renovation work is \$50,000 or more. |
| N/A | N/A |
| Certificate Prepared by <small>(please complete before submitting to Council or PCA)</small> | |
| Name / Company Name: SYDNEY DRAFTING CONCEPTS & DESIGN PTY LIMITED | |
| ABN (if applicable): 58622403141 | |

| Fixtures and systems | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|------------------|------------------------------|-----------------|
| Lighting | | | |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | | ✓ | ✓ |
| Fixtures | | | |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. | | ✓ | |

| Construction | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|---|---------------------------------|------------------|------------------------------|-----------------|
| Insulation requirements | | | | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | | | ✓ | ✓ | ✓ |
| Construction | Additional insulation required (R-value) | Other specifications | | | |
| suspended floor with open subfloor: framed (R0.7). | R0.8 (down) (or R1.50 including construction) | N/A | | | |
| suspended floor above garage: framed (R0.7). | nil | N/A | | | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | | | | |
| flat ceiling, pitched roof | ceiling: R3.00 (up), roof: foil/sarking | dark (solar absorptance > 0.70) | | | |

| Glazing requirements | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|------------------|------------------------------|-----------------|
| Windows and glazed doors | | | |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each window and glazed door: | | ✓ | ✓ |
| Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. | | ✓ | ✓ |
| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. | | ✓ | ✓ |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. | ✓ | ✓ | ✓ |
| For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below. | ✓ | ✓ | ✓ |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. | | ✓ | ✓ |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm. | | ✓ | ✓ |

| Glazing requirements | | | | | | | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|-------------|------------------------------------|--------------------------|----------------------------|--|--|------------------|------------------------------|-----------------|
| Windows and glazed doors glazing requirements | | | | | | | | | |
| Window/door number | Orientation | Area of glass including frame (m2) | Overshadowing height (m) | Overshadowing distance (m) | Shading device | Frame and glass type | | | |
| W1 | S | 4.77 | 0 | 0 | eave/ verandah/ pergola/balcony >=450 mm | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |
| W2 | E | 1.86 | 0 | 0 | projection/ height above sill ratio >=0.43 | standard aluminium, single toned, (or U-value: 7.57, SHGC: 0.57) | | | |
| W3 | E | 4.77 | 0 | 0 | projection/ height above sill ratio >=0.29 | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) | | | |
| W4 | N | 4.77 | 0 | 0 | projection/ height above sill ratio >=0.29 | standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75) | | | |

| Glazing requirements | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|---|---------------------------------|------------------------------|---|
| Skylights | | | |
| The applicant must install the skylights in accordance with the specifications listed in the table below. | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each skylight: | | ✓ | ✓ |
| Each skylight may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. | | ✓ | ✓ |
| Skylights glazing requirements | | | |
| Skylight number | Area of glazing inc. frame (m2) | Shading device | Frame and glass type |
| S1 | 0.64 | no shading | timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5) |
| S2 | 0.64 | no shading | timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5) |
| S3 | 0.64 | no shading | timber, double clear/air fill, (or U-value: 4.3, SHGC: 0.5) |

| Legend |
|--|
| In these commitments, "applicant" means the person carrying out the development. |
| Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). |
| Commitments identified with a ✓ in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. |
| Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued. |

Basix Information

NOTE:
ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS.

HOUSE NAME:
Custom Design

FACADE:
Traditional

SPECIFICATION:
STANDARD

SCALE:
NTS

GARAGE HAND:
RH

CLIENT:
Mr & Mrs Yu

SITE ADDRESS:
Lot B in DP 400662,
No 4 Heath Street,
Bankstown NSW 2200.

JOB No:
24035

DRAWN:
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CHECKED:
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DATE:
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SHEET:
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DA Application

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STORMWATER TO STREET
FRONTAGE, TO CONNECT TO
EXISTING
TO BE VERIFIED ON SITE BY BUILDER/PLUMBER

NOTE:
• ALL EXISTING SERVICES TO
REMAIN AS EXISTING TO BE VERIFIED
ON SITE.

NOTE:
• ALL EXISTING STRUCTURES AND
WALLS TO BE REMOVED, REFER TO
DEMOLITION PLANS IN ARCHITECTURAL
PLANS

LEGEND:
GRASS AREA
HARDSTAND / CONCRETE
AREA
PROPOSED EXTENSION
EXISTING RESIDENCE

LOT B
D.P: 400662
L.G.A: Canterbury-Bankstown

PRIVATE OPEN SPACE
PRINCIPAL PRIVATE OPEN SPACE

** Council App. **

CANTERBURY-BANKSTOWN DEVELOPMENT CONTROL PLAN 2023
CHAPTER 5 - RESIDENTIAL ACCOMMODATION
5.1 FORMER BANKSTOWN LGA

FLOOR SPACE RATIO (FSR)

*Areas are measured from the internal face of external walls and excludes First floor; voids, Stairs, Lifts, required car spacing to Australian Standards, Balconies with walls less than 1.4m high (Refer to the LEP or DCP for further details)

| | |
|------------------------|-----------------------|
| SITE AREA | 682.90 m ² |
| LOWER FLOOR | 53.05 m ² |
| GROUND FLOOR | 152.91 m ² |
| TOTAL GROSS FLOOR AREA | 205.96 m ² |
| PROPOSED FSR | 30.16 % |
| ALLOWABLE FSR | 50.00 % |

PRIVATE OPEN SPACE (POS)

| | |
|------------------------------|-----------------------|
| PROPOSED POS | 220.00 m ² |
| MIN. POS REQUIRED BY COUNCIL | 80 m ² |

LANDSCAPE

| | |
|----------------------------------|-----------------------|
| FRONT YARD AREA | 201.21 m ² |
| FRONT YARD LANDSCAPING | 134.40 m ² |
| AMOUNT OF FRONT YARD LANDSCAPING | 66.80 % |
| MIN. ALLOWABLE BY NSW H/CODE: | 45 % |

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SITE INDUCTION

Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.

SITE SPECIFIC HAZARDS

SITE PLAN

SCALE 1:200M



(A) -EASEMENT FOR DRAINAGE 3.05 WIDE (G886640)/(A227950)/(VOL 7484 FOL 29).

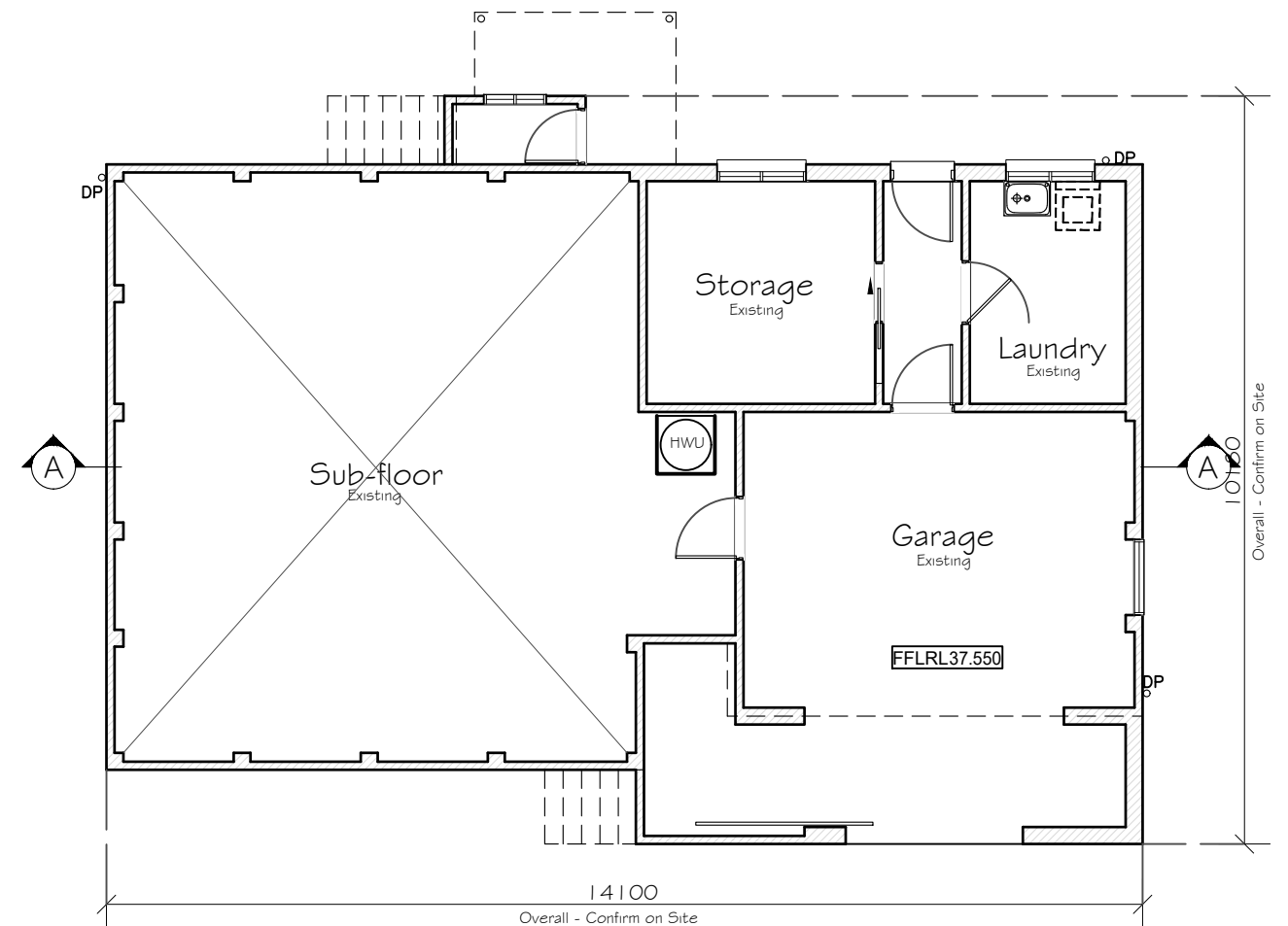
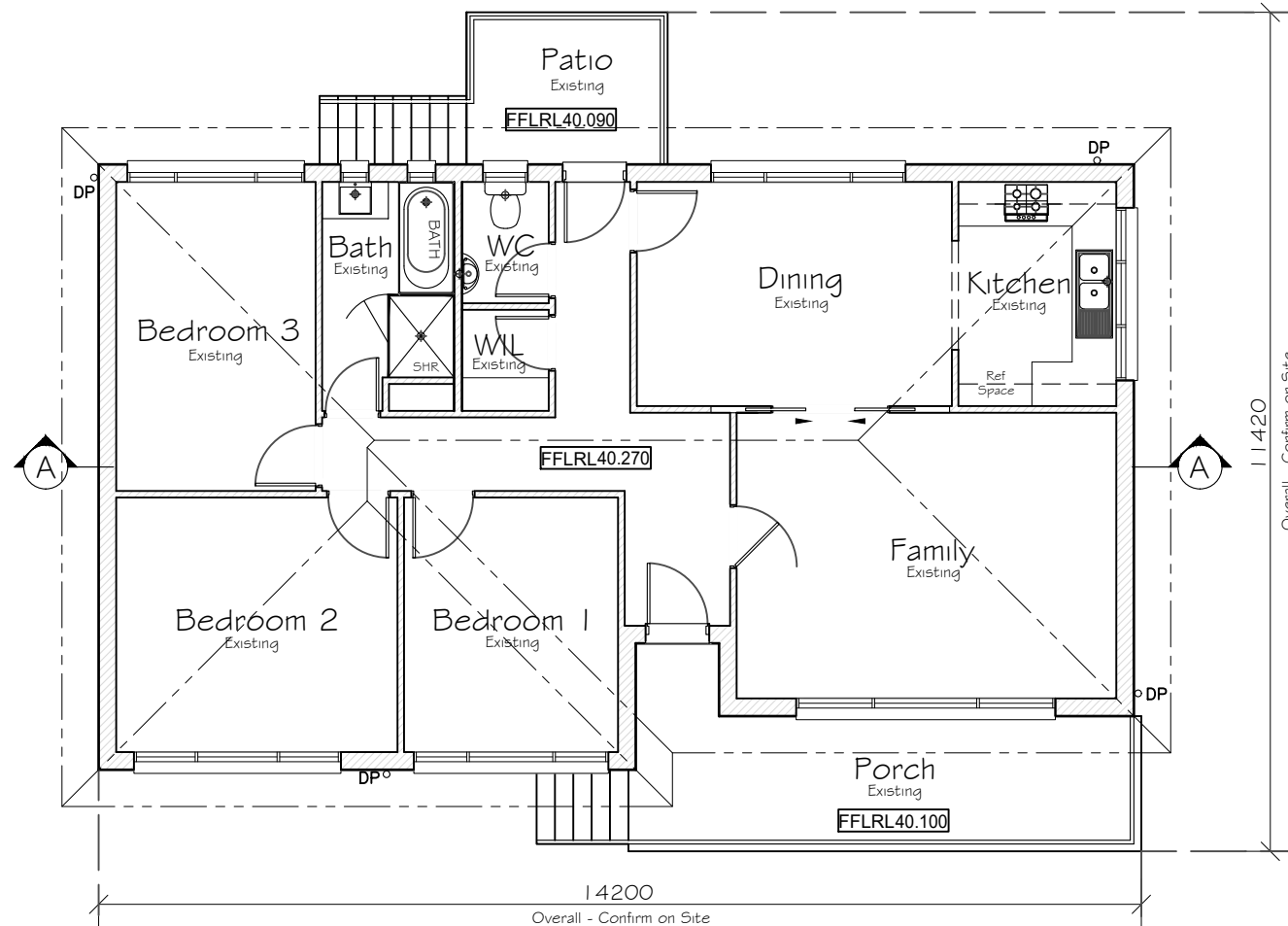
| | | | | | | |
|--|---|------------------------|-------------------|--|--|--|
| NOTE: ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom Design | CLIENT: Mr & Mrs Yu | JOB No: 24035 | P: (02) 4647-2324 E: info@32degreesbuilding.com.au A: Unit 1/14 Bluet Drive, Smeaton Grange, NSW, 2567 | SYDNEY DRAFTING CONCEPTS & DESIGN bdaa ACCREDITED BUILDING DESIGNER | CLIENT'S SIGNATURE: _____ |
| FACADE: Traditional | SITE ADDRESS: Lot B in DP 400662, No 4 Heath Street, Bankstown NSW 2200. | DRAWN: SDC | DATE: 11.12.24 | Rev: 11 | | DATE: _____ |
| SPECIFICATION: STANDARD | CHECKED: -- | SHEET: 6 | DA Application | | | I accept and understand the plans and documents that have been provided to me by Sydney Drafting Concepts & Design Pty Ltd. |
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DA
APPLICATION

ALL DIMENSIONS TO BE
CHECKED & CONFIRMED PRIOR
TO CONSTRUCTION BY BUILDER

LEGEND:

Existing Building



Existing Ground / Lower Floor Plan

NOTE:

- ALL EXISTING STRUCTURES AND WALLS TO BE REMOVED, REFER TO DEMOLITION PLANS IN ARCHITECTURAL PLANS

EXISTING AREAS

| | |
|--------------------|-----------------------|
| SITE: | 682.90 m ² |
| Exist Ground: | 110.10 m ² |
| Exist Lower Floor: | 25.19 m ² |
| Exist Garage: | 36.42 m ² |
| Exist Porch: | 13.90 m ² |
| Exist Patio: | 5.67 m ² |
| -: | 0.00 m ² |
| TOTAL: | 191.28 m ² |
| SQUARES: | 20.59 SQ |

LEGEND:

| | |
|---|------------------------|
| Ⓢ | AIR CONDITIONING DUCTS |
| Ⓢ | SMOKE ALARM |
| Ⓢ | EXHAUST FAN |
| Ⓢ | GAS POINT |
| Ⓢ | LIFT OFF HINGES |
| Ⓢ | FLOOR JOIST DIRECTION |
| Ⓢ | GARDEN TAP LOCATION |
| Ⓢ | DOWN PIPE LOCATION |
| Ⓢ | FLOOR WASTE |
| Ⓢ | STEEL POST |
| Ⓢ | TELESCOPIC STEEL POST |
| Ⓢ | ARTICULATION JOINTS |

NOTE:
ALL DIMENSIONS
ARE IN
MILLIMETERS.
ALL DIMENSIONS
ARE FRAME TO
FRAME. DO NOT
SCALE OFF
PLANS.

HOUSE NAME:
Custom Design

FACADE:
Traditional

SPECIFICATION:
STANDARD

SCALE:
1:100

GARAGE HAND:
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JOB No:
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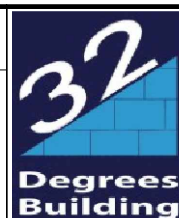
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DA Application



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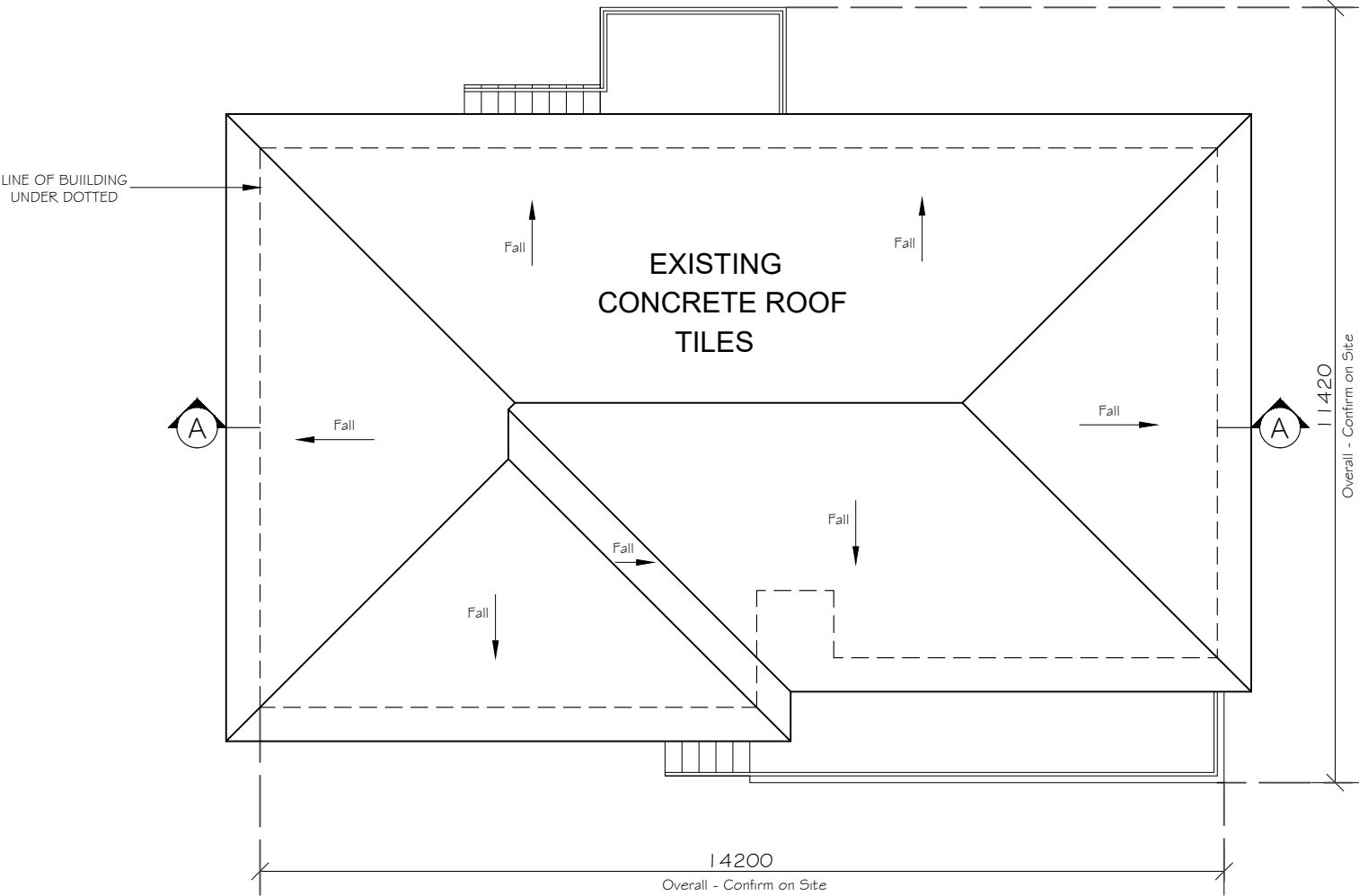
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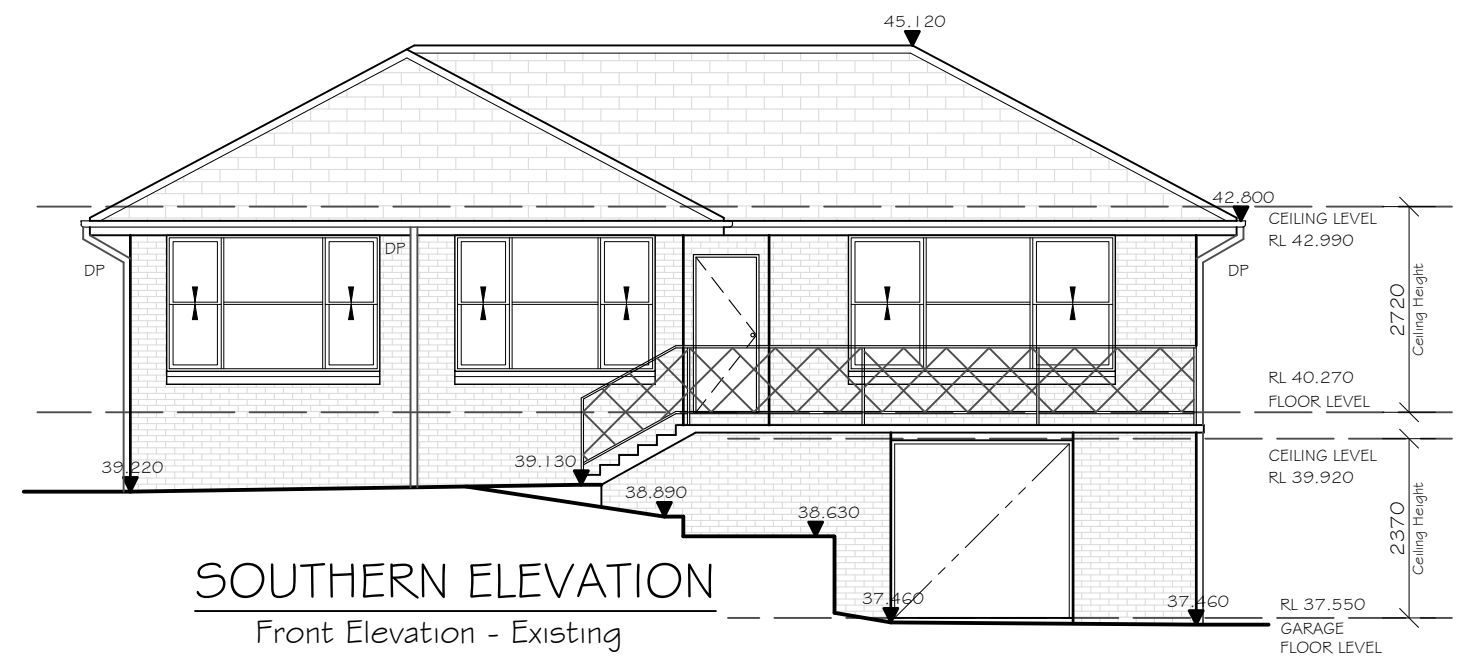
DA APPLICATION
ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER



Existing Roof Plan

FINAL CONSTRUCTION
ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER

NOTE:
• ALL EXISTING STRUCTURES AND WALLS TO BE REMOVED, REFER TO DEMOLITION PLANS IN ARCHITECTURAL PLANS

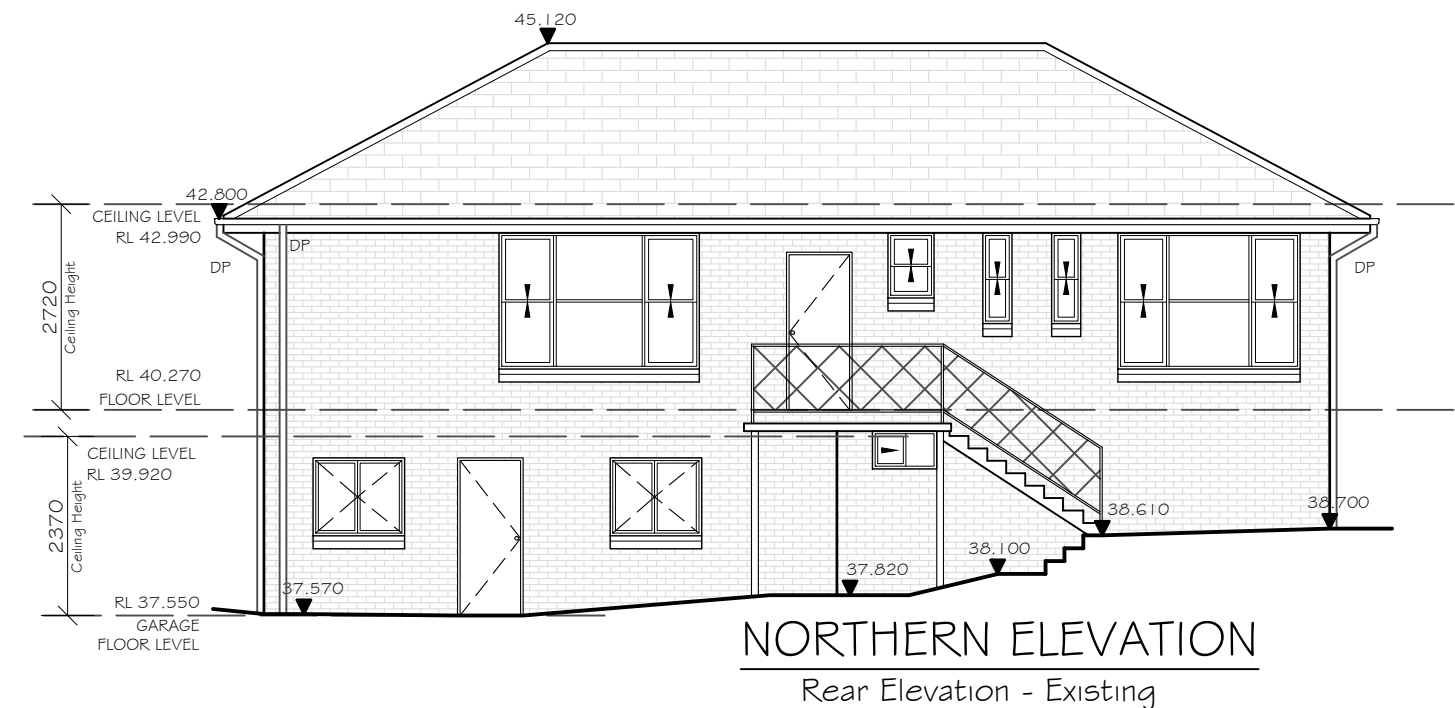
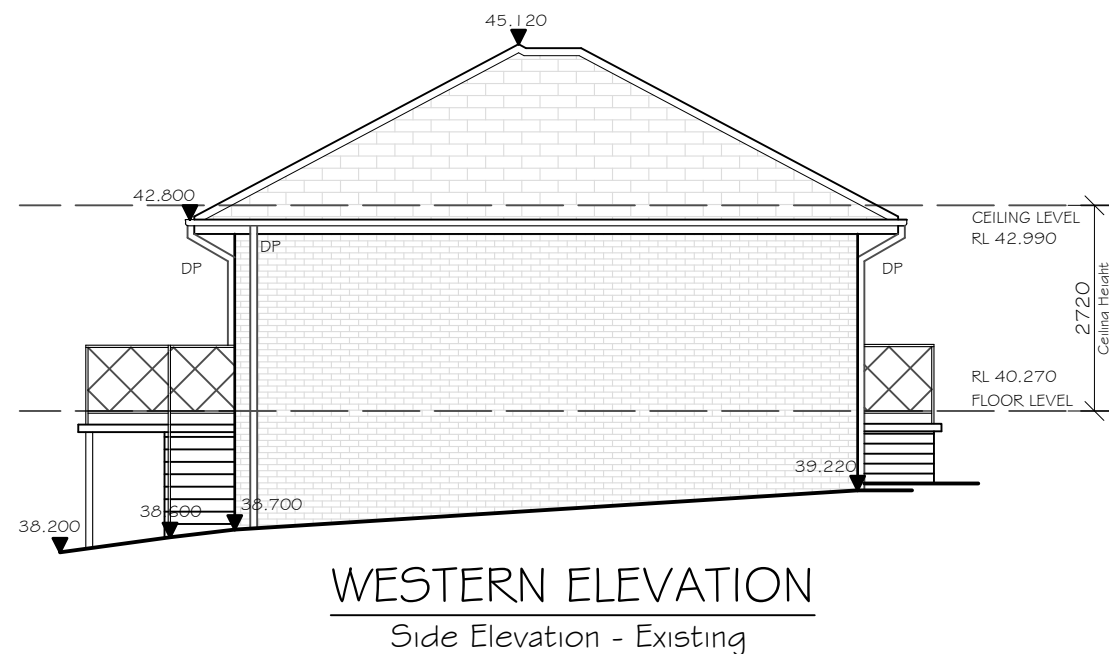


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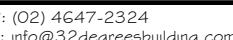


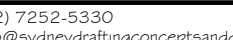



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CHECKED & CONFIRMED PRIOR
TO CONSTRUCTION BY BUILDER

NOTE:

- ALL EXISTING STRUCTURES AND WALLS TO BE REMOVED, REFER TO DEMOLITION PLANS IN ARCHITECTURAL PLANS



Existing Elevations

| | | | | | | | | |
|---|------------------------------|---|--------------------|----------------|--|---|---------------------------|--|
| NOTE: ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom Design | CLIENT: Mr & Mrs Yu - | JOB No: 24035 | |  <p>P: (02) 4647-2324 E: info@32degreesbuilding.com.au A: Unit 1/14 Bluett Drive, Smeaton Grange, NSW, 2567</p>  <p>MEMBER you're in good hands</p> <p>CONNECT WITH US</p>  |  <p>P: (02) 7252-5330 E: info@sydneydraftingconceptsanddesign.com.au A: Suite 106, Level 1, 351 Oran Park Drive, Oran Park, NSW, 2570. W: Sydneydraftingconcepts.com.au</p>   <p>MEMBER you're in good hands</p>  | CLIENT'S SIGNATURE: _____ | |
| | FACADE: Traditional | SITE ADDRESS: Lot B in DP 400662, No 4 Heath Street, Bankstown NSW 2200. | DRAWN: SDC | DATE: 11.12.24 | | | Rev: | I accept and understand the plans and documents that have been provided to me by Sydney Drafting Concepts & Design Pty Ltd. |
| | SPECIFICATION: STANDARD | | CHECKED: -- | SHEET: 9 | | | 11 | |
| | SCALE: 1:100 | | GARAGE HAND: RH | | | | DA Application | |
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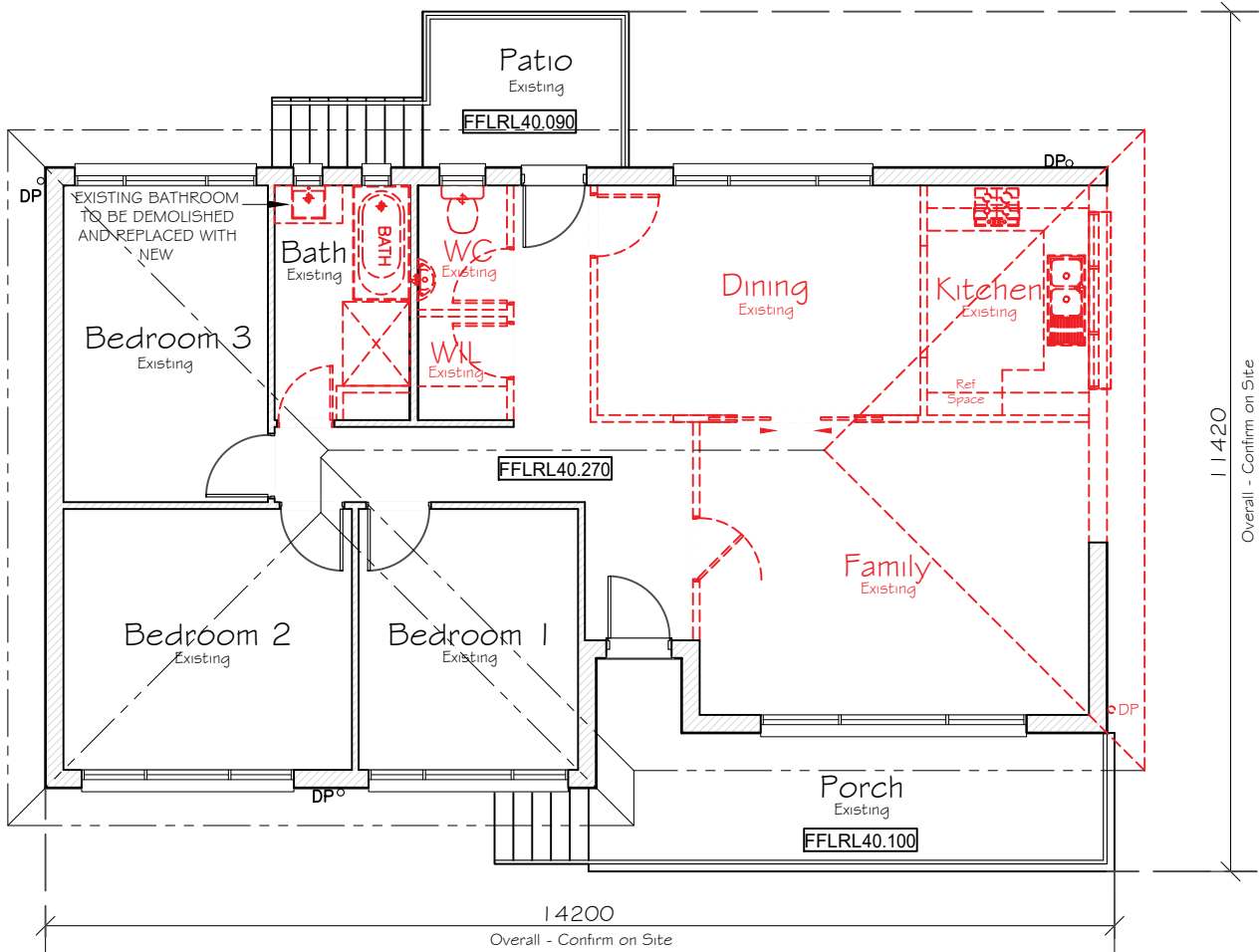
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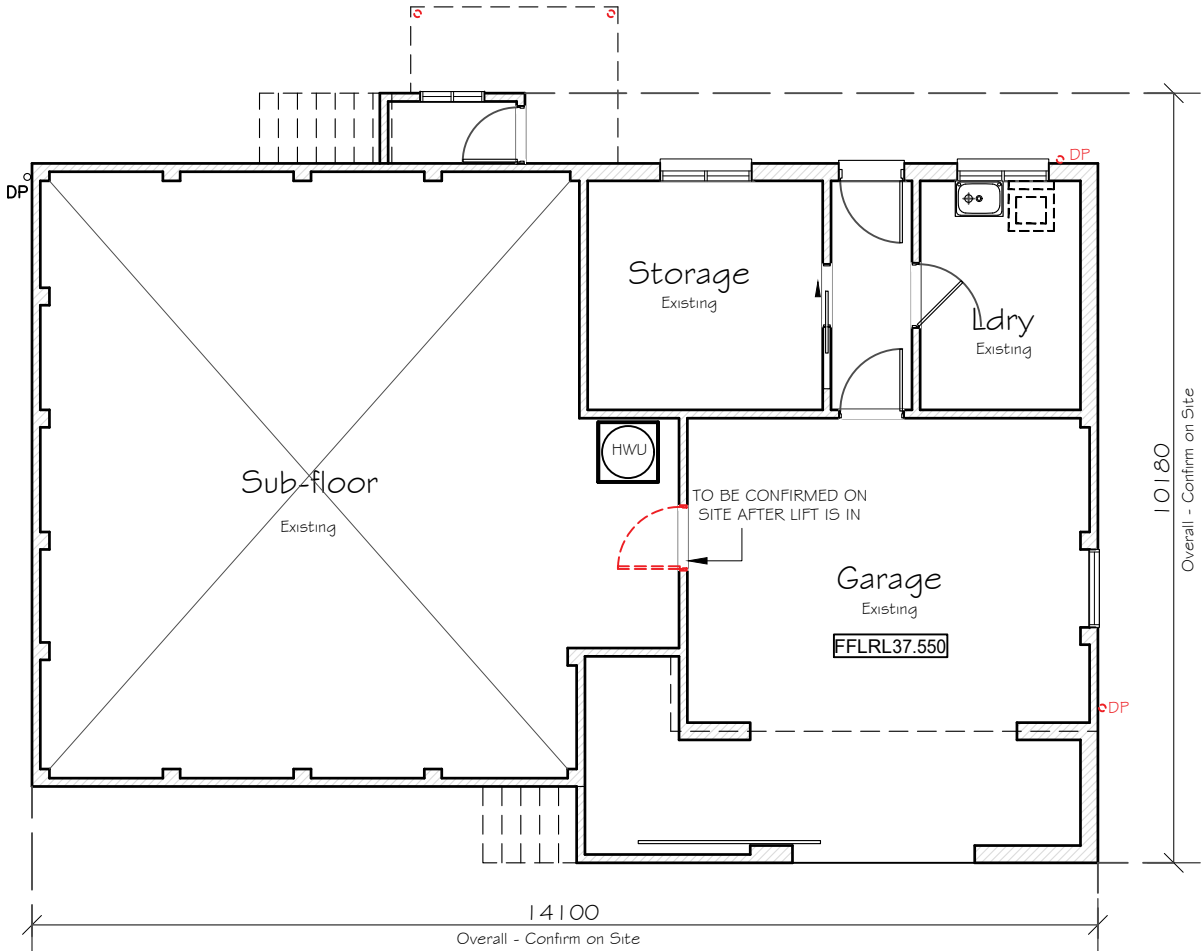
LEGEND:

Existing Structures to be removed

Existing Building



Existing Ground Floor Plan



Existing Lower Floor Plan



Demolition Plan

| LEGEND: | |
|---------|------------------------|
| | AIR CONDITIONING DUCTS |
| | SMOKE ALARM |
| | EXHAUST FAN |
| | GAS POINT |
| | LIFT OFF HINGES |
| | FLOOR JOIST DIRECTION |
| | GARDEN TAP LOCATION |
| | DOWN PIPE LOCATION |
| | FLOOR WASTE |
| | STEEL POST |
| | TELESCOPIC STEEL POST |
| | ARTICULATION JOINTS |

NOTE:
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ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS.

HOUSE NAME:
Custom Design

FACADE:
Traditional

SPECIFICATION:
STANDARD

SCALE:
1:100

GARAGE HAND:
RH

CLIENT:
Mr & Mrs Yu

SITE ADDRESS:
**Lot B in DP 400662,
No 4 Heath Street,
Bankstown NSW 2200.**

JOB No:
24035

DRAWN: SDC
CHECKED: --

DATE: 11.12.24
SHEET: 10

Rev: 11

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







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| LEGEND: | |
|---|------------------------|
|  | AIR CONDITIONING DUCTS |
|  | SMOKE ALARM |
|  | EXHAUST FAN |
|  | GAS POINT |
|  | LIFT OFF HINGES |
|  | FLOOR JOIST DIRECTION |
|  | GARDEN TAP LOCATION |
| DP  | DOWN PIPE LOCATION |
| FW  | FLOOR WASTE |
| SP  | STEEL POST |
| TSP  | TELESCOPIC STEEL POST |
|  AJ | ARTICULATION JOINTS |

STORMWATER TO CONNECT TO EXISTING

TO BE VERIFIED ON SITE BY BUILDER/PLUMBER

NOTE:

ALL EXISTING STRUCTURES AND WALLS TO BE REMOVED, REFER TO DEMOLITION PLANS IN ARCHITECTURAL PLANS







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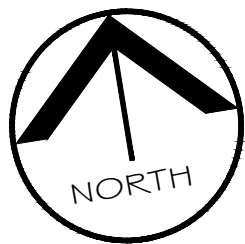
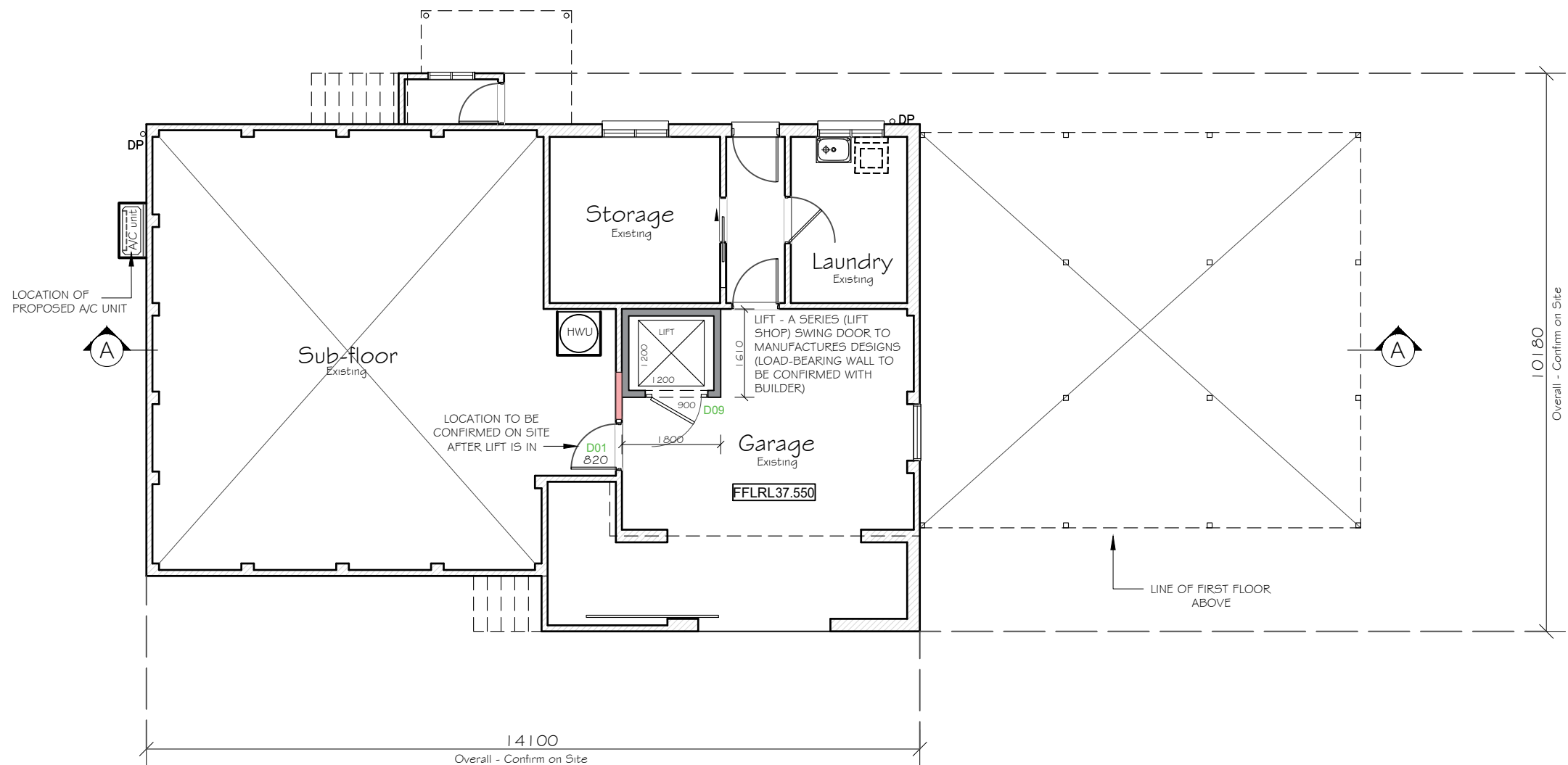
ALL EXISTING SERVICES TO REMAIN
AS EXISTING TO BE VERIFIED ON SITE.

DA APPLICATION

ALL DIMENSIONS TO BE
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TO CONSTRUCTION BY BUILDER

LEGEND:

| | |
|---|-------------------|
|  | Existing Building |
|  | Brick Work |
|  | Timber - Cladding |
|  | Concrete |
|  | Tiles |
|  | Colorbond - Steel |



Proposed Lower Floor Plan

| Existing - Proposed Areas | |
|---------------------------|-----------------------|
| SITE: | 682.90 m ² |
| Existing Areas | |
| Existing Ground: | 110.10 m ² |
| Existing Lower: | 25.19 m ² |
| Existing Garage: | 36.42 m ² |
| Existing Porch: | 13.90 m ² |
| Existing Patio: | 5.67 m ² |
| Existing Alfresco: | 0.00 m ² |
| SUB-TOTAL: | 191.28 m ² |
| SQUARES: | 20.59 SQ |
| Proposed Areas | |
| Proposed Ground: | 56.23 m ² |
| SUB-TOTAL: | 56.23 m ² |
| SQUARES: | 6.05 SQ |
| GRAND TOTAL: | 247.51 m ² |
| TOTAL SQUARES: | 26.64 SQ |

NOTE:
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ARE IN
MILLIMETERS.
ALL DIMENSIONS
ARE FRAME TO
FRAME. DO NOT
SCALE OFF
PLANS.


| | |
|----------------|--------------|
| HOUSE NAME: | |
| Custom Design | |
| FACADE: | |
| Traditional | |
| SPECIFICATION: | |
| STANDARD | |
| SCALE: | GARAGE HAND: |
| 1:100 | RH |

| | |
|---------------|---|
| CLIENT: | Mr & Mrs Yu - |
| SITE ADDRESS: | Lot B in DP 400662, No 4 Heath Street, Bankstown NSW 2200 |







| | | |
|----------------|----------------|------|
| JOB No: 24035 | | |
| DRAWN: SDC | DATE: 11.12.24 | Rev: |
| CHECKED: -- | SHEET: 11 | 11 |
| DA Application | | |



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EXISTING
TO BE VERIFIED ON SITE BY BUILDER/PLUMBER

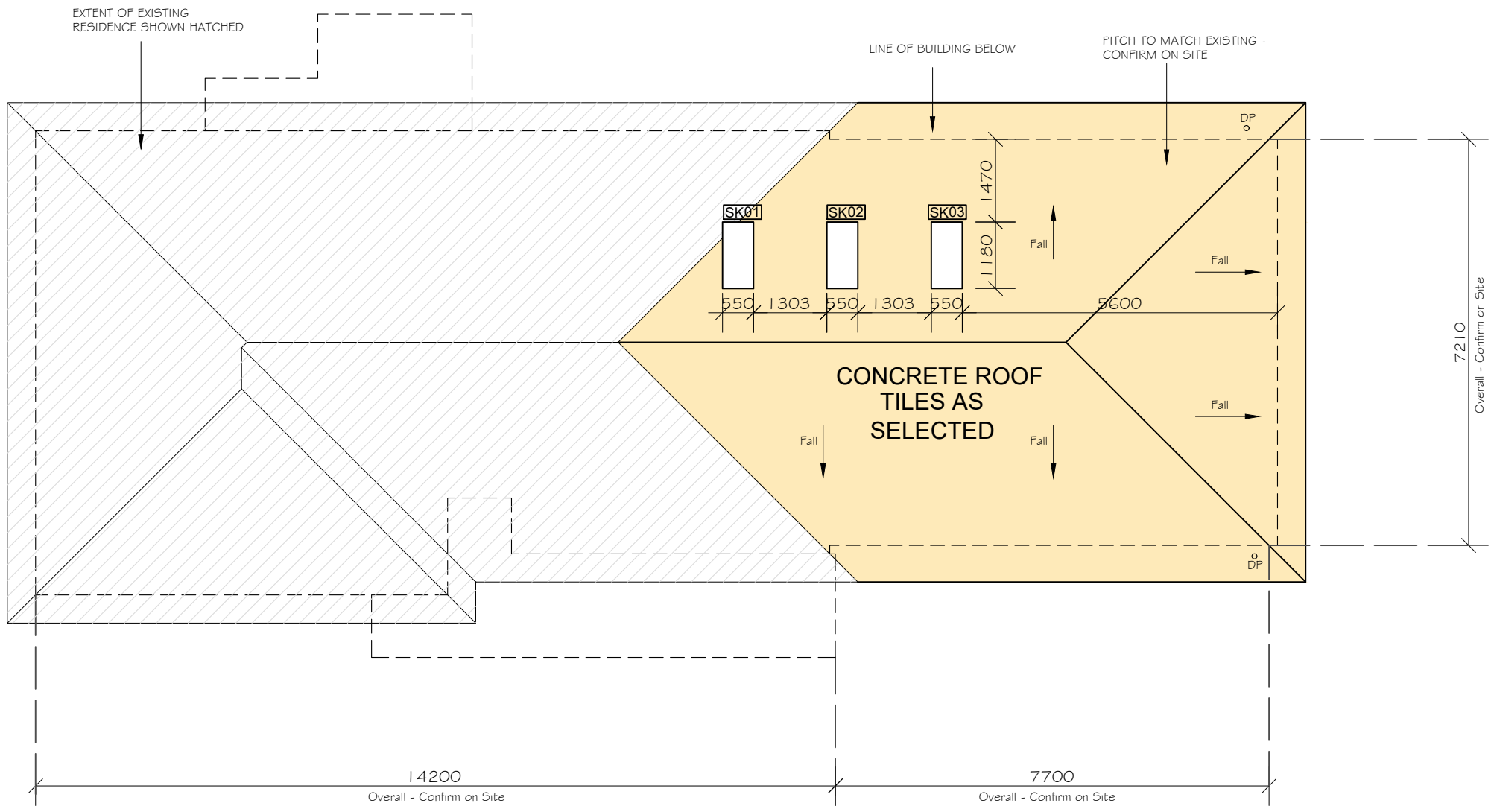
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NOTE:
• ALL EXISTING STRUCTURES AND
WALLS TO BE REMOVED, REFER TO
DEMOLITION PLANS IN ARCHITECTURAL
PLANS

DP ○ DOWN PIPE
LOCATION

LEGEND:

- Existing Building
- Brick Work
- Timber - Cladding
- Concrete
- Tiles
- Colorbond - Steel
- Existing Structures to be removed



Proposed Roof Plan

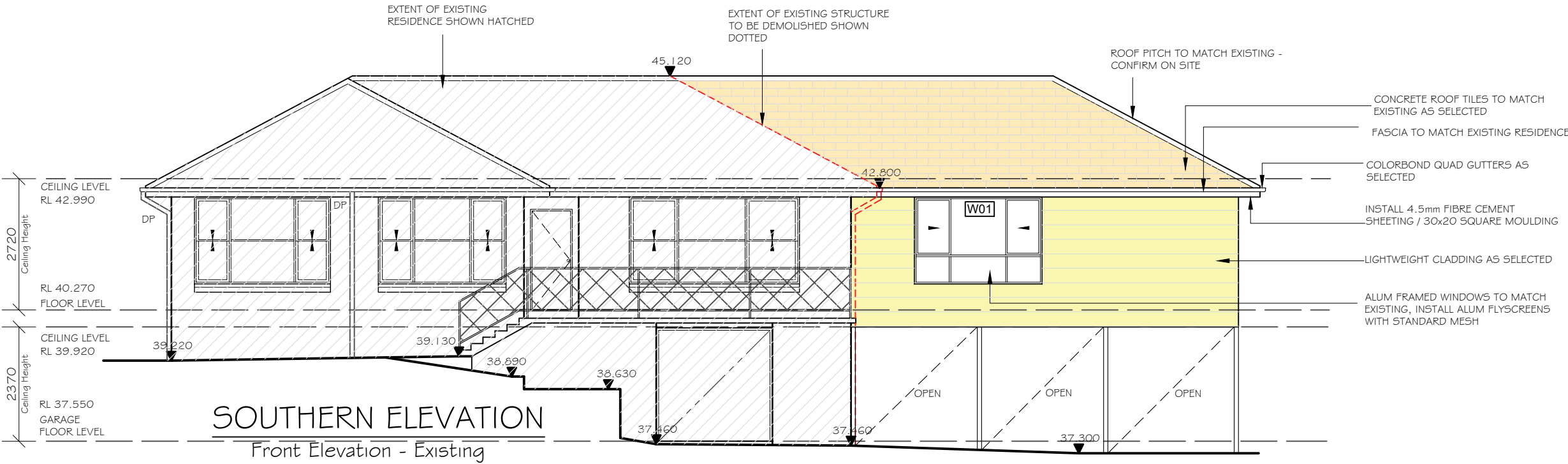
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|---|-------------------------------------|--|------------------------|-----------------------|-----------|--|---|--|---|---|
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| | SPECIFICATION: STANDARD | | CHECKED: -- | SHEET: 13 | 11 | | | | | |
| | SCALE: 1:100 | | GARAGE HAND: RH | DA Application | | | | | | |

STORMWATER TO STREET
FRONTAGE, TO CONNECT TO
EXISTING
TO BE VERIFIED ON SITE BY BUILDER/PLUMBER

NOTE:
• ALL EXISTING STRUCTURES AND
WALLS TO BE REMOVED, REFER TO
DEMOLITION PLANS IN ARCHITECTURAL
PLANS

NOTE:
• FIRST FLOOR BEDROOMS
WINDOWS TO BE COMPLYING WITH
CLAUSE 3.9.2.6 OF NATIONAL
CONSTRUCTION CODE 2019, VOLUME
TWO - BUILDING CODE OF AUSTRALIA -
PROTECTION OF OPENABLE WINDOWS.

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APPLICATION**
ALL DIMENSIONS TO BE
CHECKED & CONFIRMED PRIOR
TO CONSTRUCTION BY BUILDER



NOTES:

- Stair's construction to be in accordance with Volume 1 - National Construction Code, Part 11 - Safe movement and access;
 - (i) Part 11.2.2 Stairway Construction,
 - (ii) Part 11.2.4 Slip Resistance,
 - (iii) Part 11.2.5 Landings
- Balustrade to be in accordance with Volume 1 - Nation Construction Code,
 - Part 11 - Safe movement and access;
 - (i) Part 11.3.3 Barriers to prevent falls,
 - (ii) Part 11.3.4 Construction of barriers to prevent falls,
 - (iii) Part 11.35 Handrails,
 - Protection of Windows Opening to be in accordance with Volume 1 -

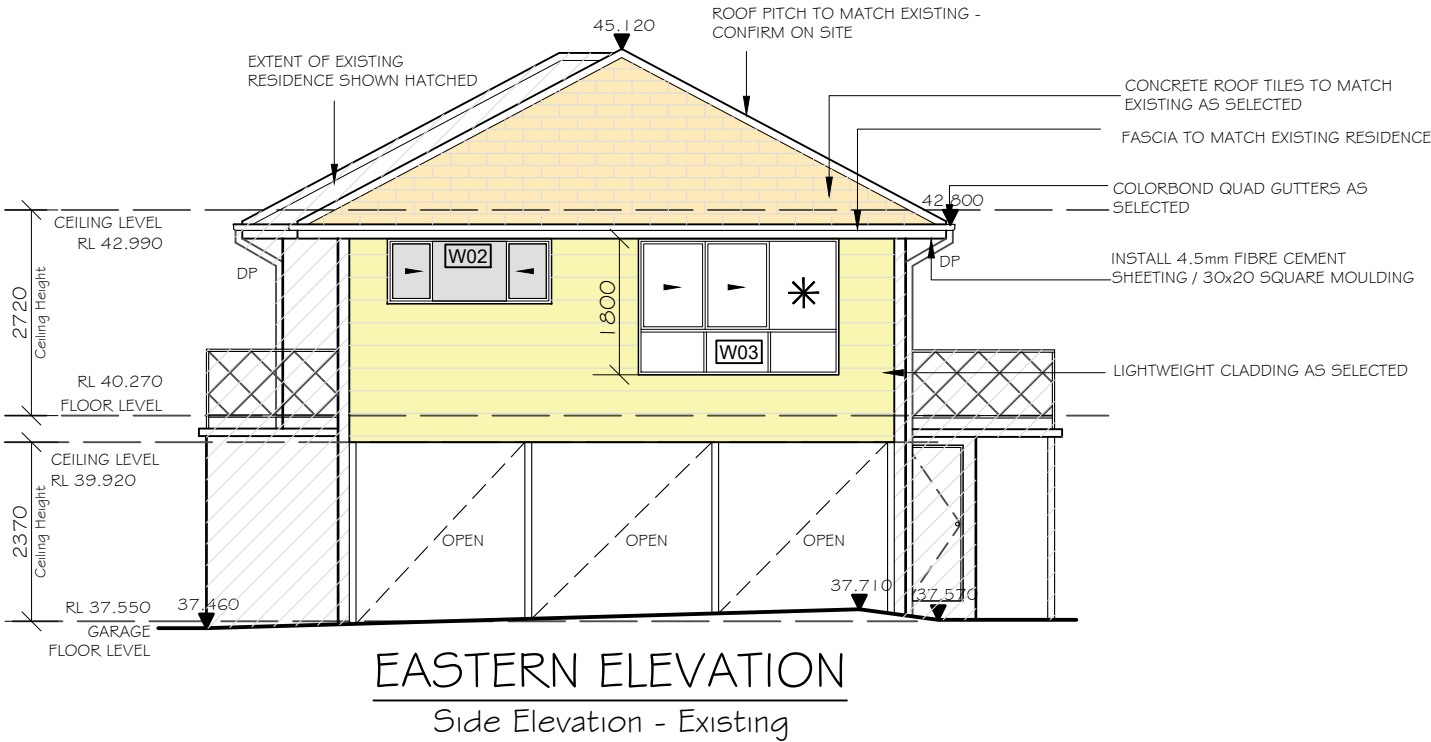
National Construction Code, - Part 11 - Safe movement and access;

- (i) Part 11.3.7 Protection of openable windows - bedrooms,
- (ii) Part 11.3.8 Protection of openable windows - rooms other than bedrooms.

- Waterproofing to be in accordance with Volume 1 - National Construction Code,

Part 10.2 Wet area waterproofing;

- (i) Part 10.2 Wet area waterproofing; or
- (ii) Australian Standard - AS 3740
- (iii) The above is to be selected by builder prior to construction has started.



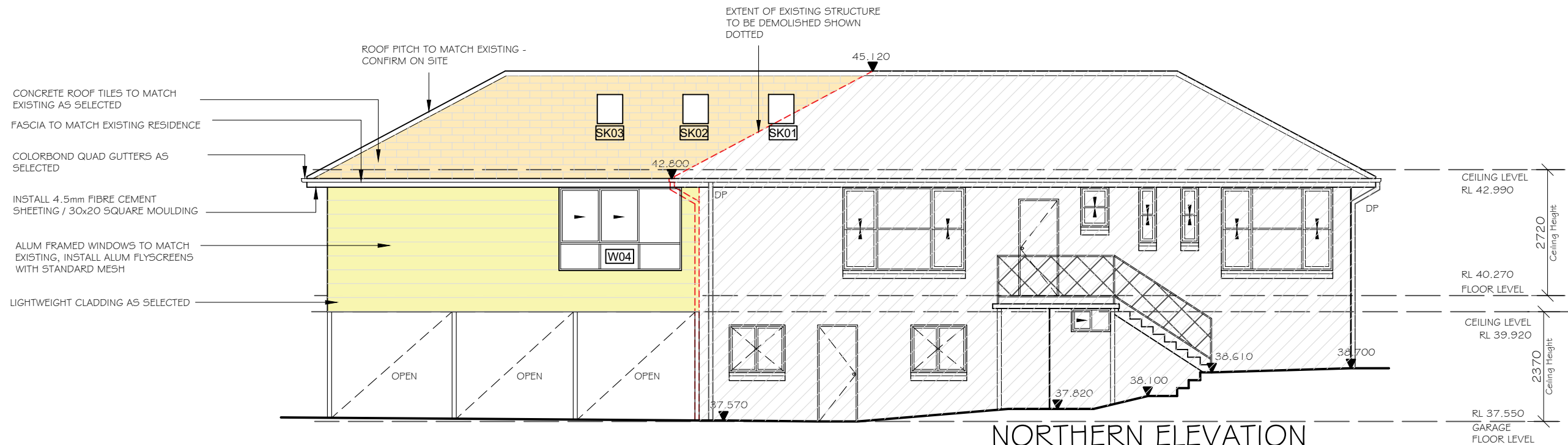
LEGEND:

- Existing Building
- Brick Work
- Timber - Cladding
- Concrete
- Tiles
- Colorbond - Steel
- Existing Structures to be removed

Proposed Elevations

DENOTES LOW-E GLAZING TO
* SELECTED WINDOWS AS PER
BASIX CERTIFICATE

| | | | | | | |
|---|---------------------------------------|--|---|--|--|--|
| NOTE: ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom Design | CLIENT: Mr & Mrs Yu - SITE ADDRESS: Lot B in DP 400662, No 4 Heath Street, Bankstown NSW 2200. | JOB No: 24035 DRAWN: SDC CHECKED: -- DATE: 11.12.24 SHEET: 14 Rev: 11 DA Application | P: (02) 4647-2324 E: info@32degreesbuilding.com.au A: Unit 1/14 Bluett Drive, Smeaton Grange, NSW, 2567 CONNECT WITH US f t i n @ p y | P: (02) 7252-5330 E: info@sydneydraftingconceptsanddesign.com.au A: Suite 106, Level 1, 351 Oran Park Drive, Oran Park, NSW, 2570. W: Sydneydraftingconcepts.com.au bdaa ACCREDITED BUILDING DESIGNER in f y | CLIENT'S SIGNATURE: _____ DATE: _____ I accept and understand the plans and documents that have been provided to me by Sydney Drafting Concepts & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting Concepts & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting Concepts & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting Concepts & Design Pty Ltd. COPYRIGHT |
| | FACADE: Traditional | | | | | |
| | SPECIFICATION: STANDARD | | | | | |
| | SCALE: 1:100 GARAGE HAND: RH | | | | | |



NORTHERN ELEVATION

Rear Elevation - Existing

DA APPLICATION

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NOTES:

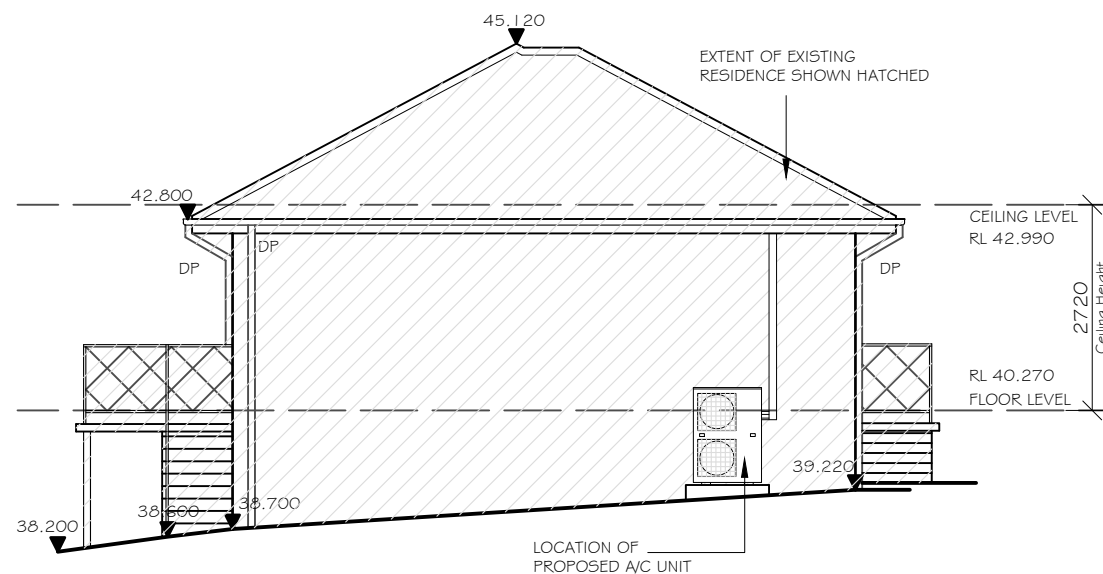
- Stair's construction to be in accordance with Volume 1 - National Construction Code, Part 11 - Safe movement and access;
 - Part 11.2.2 Stairway Construction,
 - Part 11.2.4 Slip Resistance,
 - Part 11.2.5 Landings
- Balustrade to be in accordance with Volume 1 - National Construction Code,
 - Part 11 - Safe movement and access;
 - Part 11.3.3 Barriers to prevent falls,
 - Part 11.3.4 Construction of barriers to prevent falls,
 - Part 11.3.5 Handrails,
 - Protection of Windows Opening to be in accordance with Volume 1 -

National Construction Code, - Part 11 - Safe movement and access;

- Part 11.3.7 Protection of openable windows - bedrooms,
- Part 11.3.8 Protection of openable windows - rooms other than bedrooms.

- Waterproofing to be in accordance with Volume 1 - National Construction Code,

- Part 10.2 Wet area waterproofing;
 - Part 10.2 Wet area waterproofing; or
 - Australian Standard - AS 3740
 - The above is to be selected by builder prior to construction has started.



WESTERN ELEVATION

Side Elevation - Existing

STORMWATER TO STREET FRONTAGE, TO CONNECT TO EXISTING

TO BE VERIFIED ON SITE BY BUILDER/PLUMBER

NOTE:

- ALL EXISTING STRUCTURES AND WALLS TO BE REMOVED, REFER TO DEMOLITION PLANS IN ARCHITECTURAL PLANS

NOTE:

- FIRST FLOOR BEDROOMS WINDOWS TO BE COMPLYING WITH CLAUSE 3.9.2.6 OF NATIONAL CONSTRUCTION CODE 2019, VOLUME TWO - BUILDING CODE OF AUSTRALIA - PROTECTION OF OPENABLE WINDOWS.

LEGEND:

- Existing Building
- Brick Work
- Timber - Cladding
- Concrete
- Tiles
- Colorbond - Steel
- Existing Structures to be removed

Proposed Elevations

NOTE:
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HOUSE NAME:
Custom Design

FACADE:
Traditional

SPECIFICATION:
STANDARD

SCALE:
1:100

GARAGE HAND:
RH

CLIENT:
Mr & Mrs Yu

SITE ADDRESS:
**Lot B in DP 400662,
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Bankstown NSW 2200.**

JOB No:
24035

DRAWN:
SDC

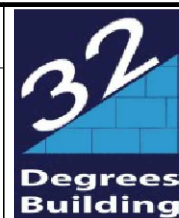
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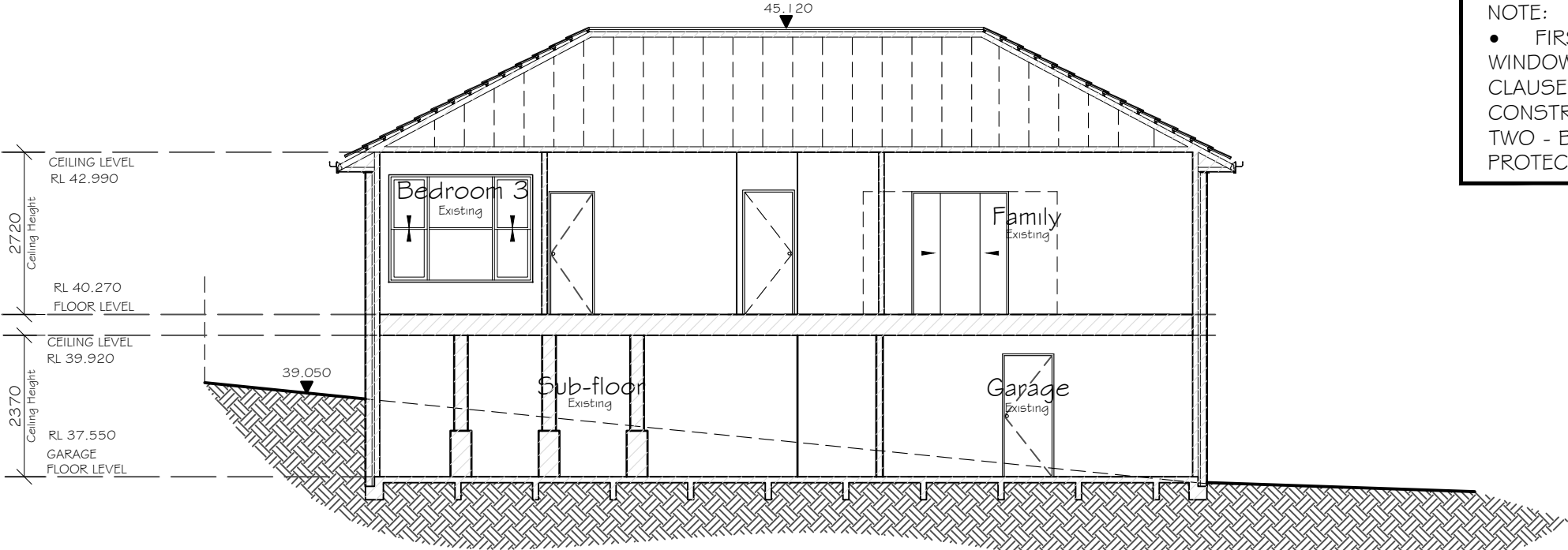
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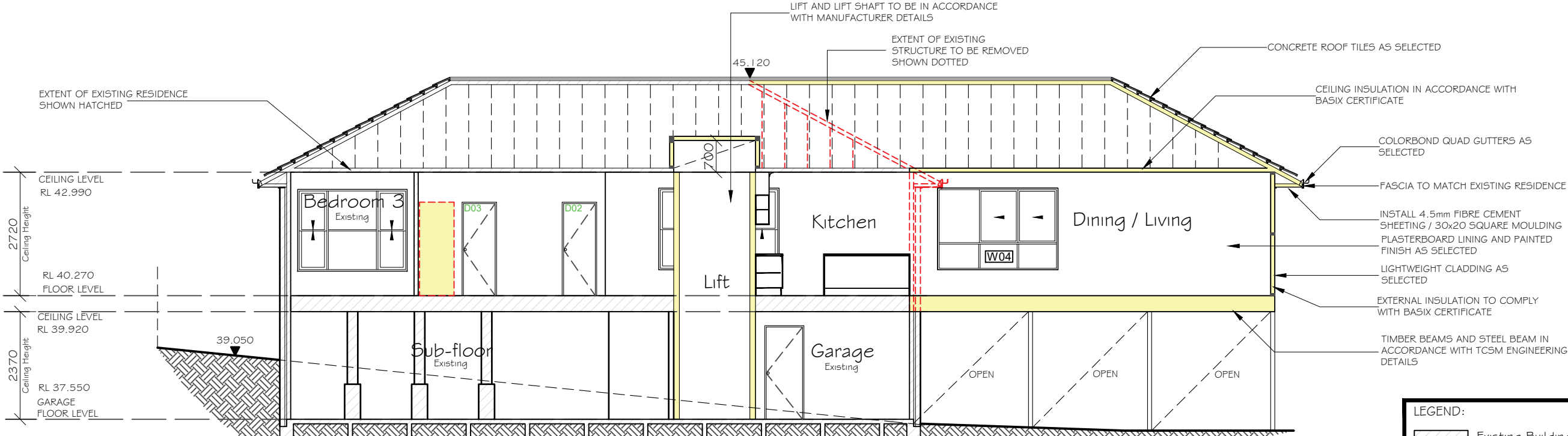
NOTE:
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NOTE:
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PROTECTION OF OPENABLE WINDOWS.

SECTION A-A
Existing Residence



SECTION A-A
Existing & Proposed Residence

- LEGEND:
- Existing Building
 - Brick Work
 - Timber - Cladding
 - Concrete
 - Tiles
 - Colorbond - Steel
 - Existing Structures to be removed

NOTE:
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PLANS.

HOUSE NAME:
Custom Design
FACADE:
Traditional
SPECIFICATION:
STANDARD
SCALE:
1:100
GARAGE HAND:
RH

CLIENT:
Mr & Mrs Yu
SITE ADDRESS:
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Bankstown NSW 2200.**

JOB No:
24035
DRAWN:
SDC
CHECKED:
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DATE:
11.12.24
SHEET:
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Rev:
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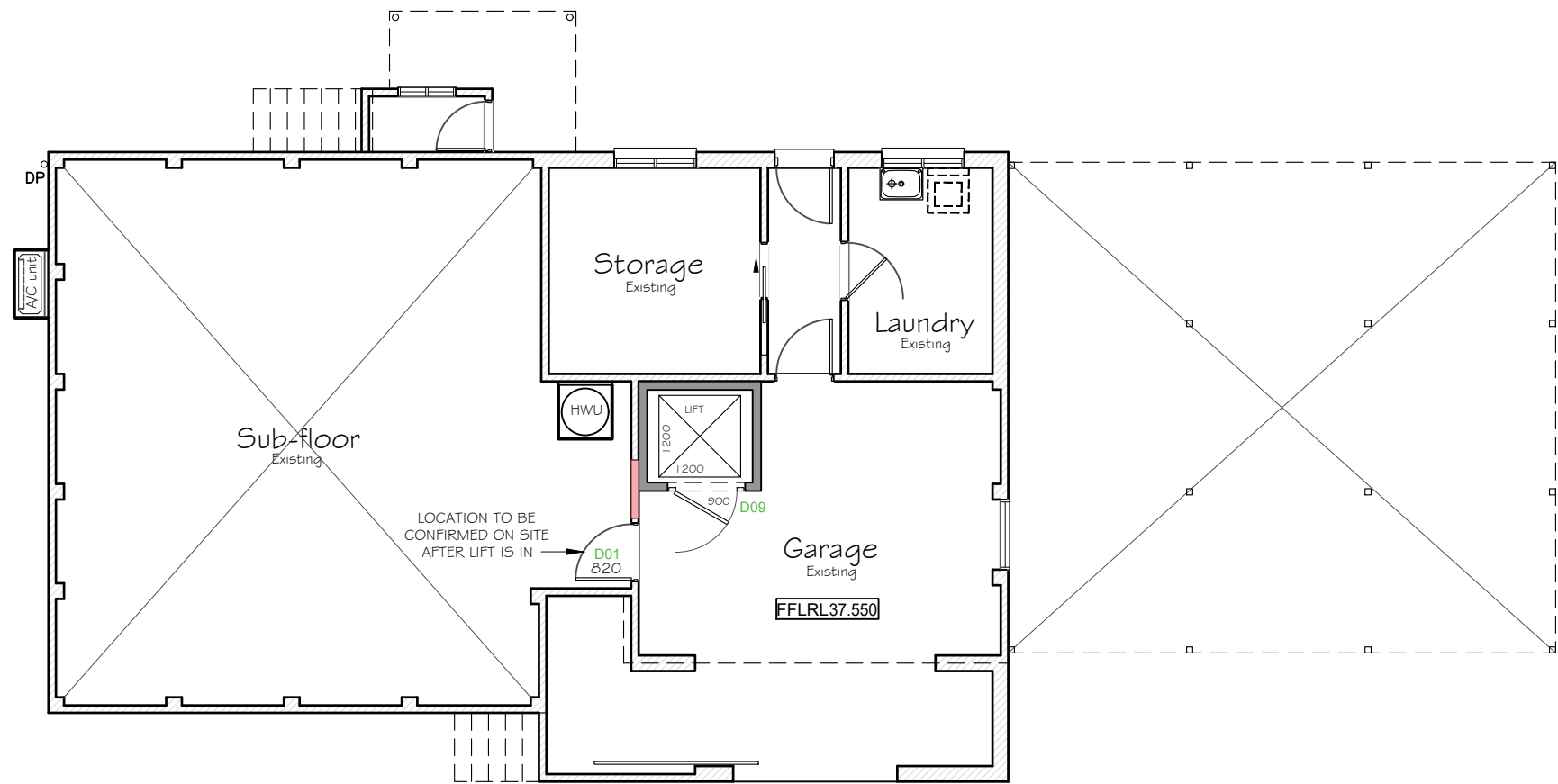
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Proposed Lower Floor Plan

| DOOR SCHEDULE | | | | | |
|---------------|------|---------------------------|--------|-------|----------------|
| TYPE | MARK | TYPE | HEIGHT | WIDTH | LOCATION |
| D | 01 | INTERNAL DOOR | 2040 | 820 | GARAGE |
| D | 02 | INTERNAL DOOR | 2040 | 720 | MUD RM |
| D | 03 | INTERNAL DOOR | 2040 | 720 | BATHROOM |
| D | 04 | INTERNAL DOUBLE DOORS | 2040 | 2/720 | LINEN |
| D | 05 | INTERNAL DOOR | 2040 | 820 | BEDROOM 4 |
| D | 06 | INTERNAL SMART ROBE DOORS | 2040 | 3/720 | BEDROOM 4 ROBE |
| D | 07 | INTERNAL DOOR | 2040 | 820 | BATHROOM |
| D | 08 | INTERNAL DOOR - LIFT DOOR | MANUF | 900 | UPPER LIFT |
| D | 09 | INTERNAL DOOR - LIFT DOOR | MANUF | 900 | LOWER LIFT |

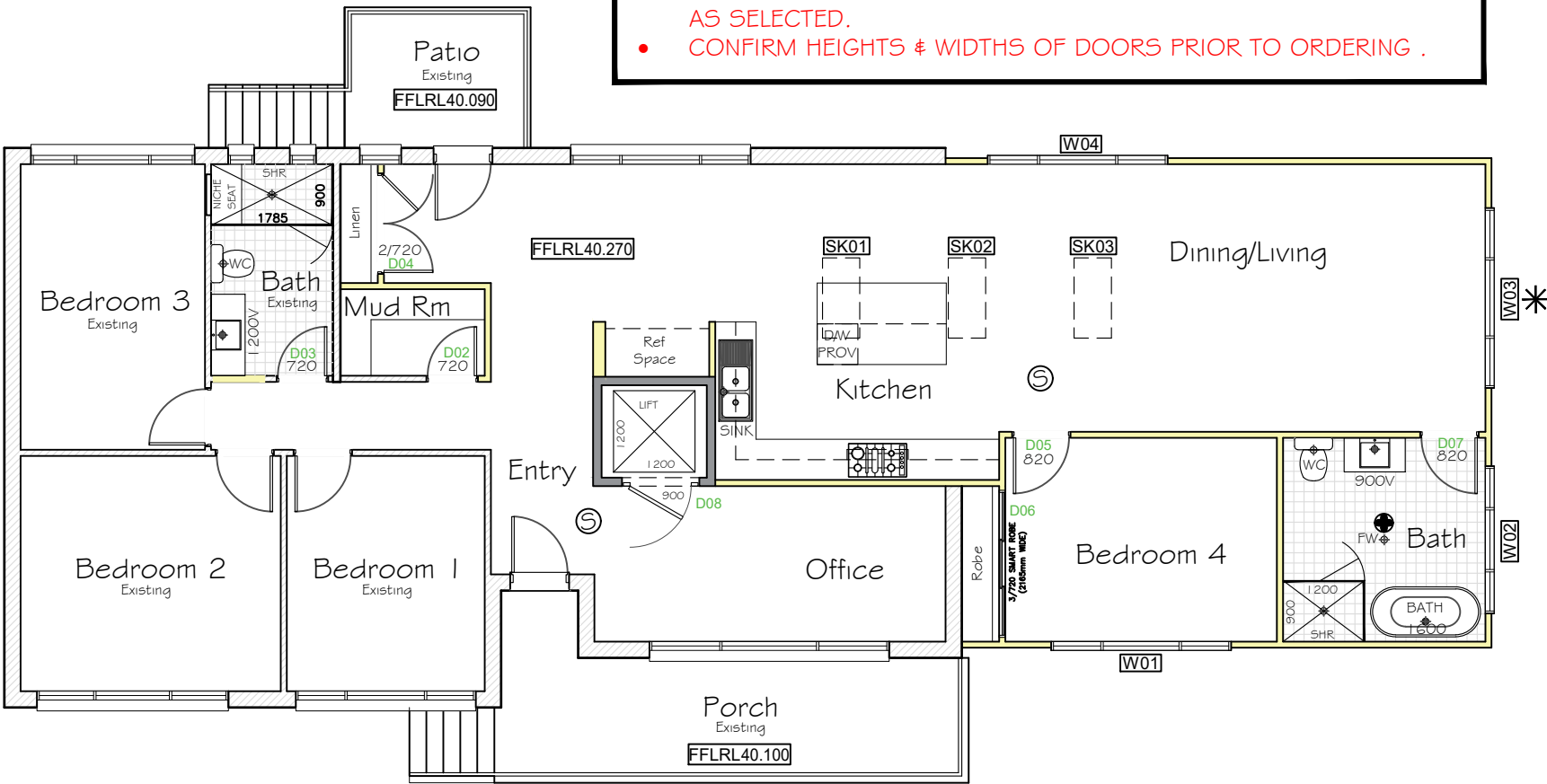
- WINDOWS TO BE IN ACCORDANCE WITH CURRENT BASIX CERTIFICATE
- WINDOWS SIZES TO BE CHECKED BY BUILDER & WINDOW MANUFACTURE. REPORT ANY DISCREPANCIES PRIOR TO ORDERING.
- BATHROOM AND ENSUITE WINDOWS TO BE TRANSLUCENT GLAZING AS SELECTED.
- CONFIRM HEIGHTS & WIDTHS OF DOORS PRIOR TO ORDERING .

| SKYLIGHT & WINDOW SCHEDULE | | | | |
|----------------------------|------|------|-----------------------------|----------------|
| SK01 | 1180 | 550 | TIMBER FRAME FIXED SKYLIGHT | REFER TO BASIX |
| SK02 | 1180 | 550 | TIMBER FRAME FIXED SKYLIGHT | REFER TO BASIX |
| SK03 | 1180 | 550 | TIMBER FRAME FIXED SKYLIGHT | REFER TO BASIX |
| W01 | 1800 | 2650 | ALUM. FRAME SLIDING WINDOW | REFER TO BASIX |
| W02 | 860 | 2170 | ALUM. FRAME SLIDING WINDOW | REFER TO BASIX |
| W03 | 1800 | 2650 | ALUM. FRAME SLIDING WINDOW | REFER TO BASIX |
| W04 | 1800 | 2650 | ALUM. FRAME SLIDING WINDOW | REFER TO BASIX |

✱ DENOTES LOW-E GLAZING TO SELECTED WINDOWS AS PER BASIX CERTIFICATE



DA APPLICATION
ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER



Proposed Ground Floor Plan

Window & Door Schedule

NOTE:
ALL DIMENSIONS ARE IN MILLIMETERS.
ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS.

HOUSE NAME:
Custom Design

FACADE:
Traditional

SPECIFICATION:
STANDARD

SCALE:
1:100

GARAGE HAND:
RH

CLIENT:
Mr & Mrs Yu

SITE ADDRESS:
**Lot B in DP 400662,
No 4 Heath Street,
Bankstown NSW 2200.**

JOB No:
24035

DRAWN:
SDC

CHECKED:
--

DATE:
11.12.24

SHEET:
17

Rev:
11

DA Application

32 Degrees Building

P: (02) 4647-2324
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A: Unit 1/14 Bluett Drive,
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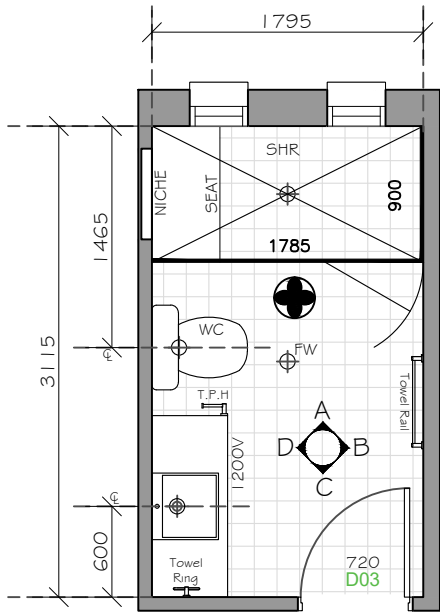
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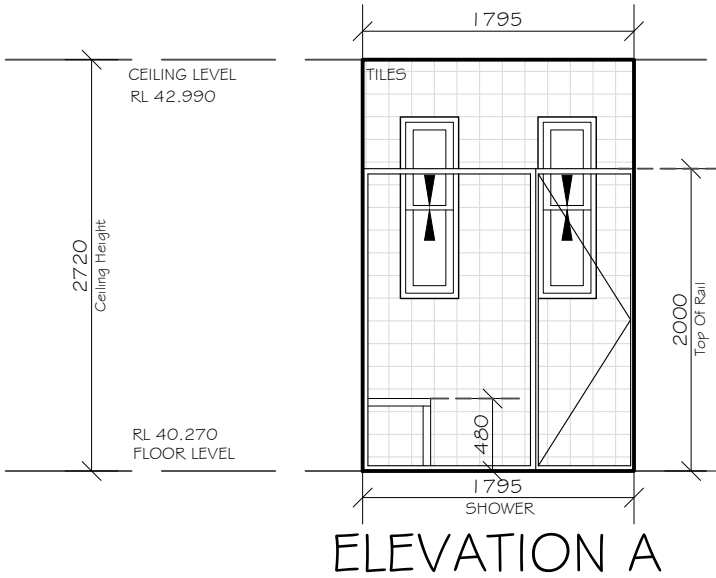
NOTES:
Protection of Windows Opening to be in accordance with Volume 1 -
National Construction Code, - Part 11 - Safe movement and access;
(i) Part 11.3.7 Protection of openable windows - bedrooms,
(ii) Part 11.3.8 Protection of openable windows - rooms other than bedrooms.
• Waterproofing to be in accordance with Volume 1 - National Construction Code,
Part 10.2 Wet area waterproofing;
(i) Part 10.2 Wet area waterproofing; or
(ii) Australian Standard - AS 3740
(iii) The above is to be selected by builder prior to construction has started.

DA APPLICATION
ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER

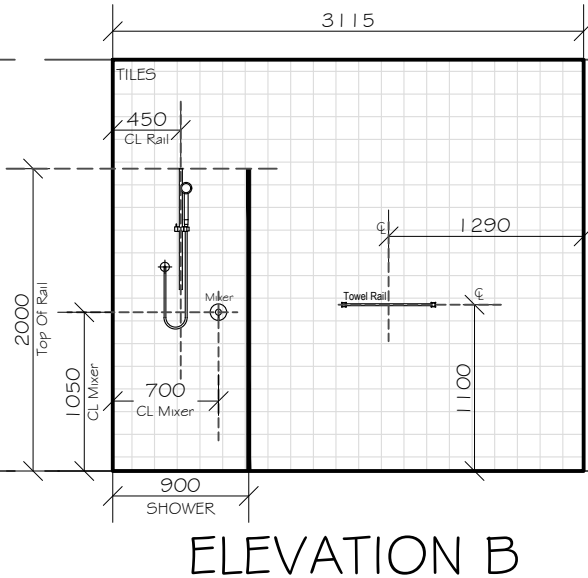
NOTE:
ALL APPLIANCES, FIXTURES AND FINISHES TO BE VERIFIED WITH BUILDER. ALL DETAILS ARE INDICATIVE ONLY



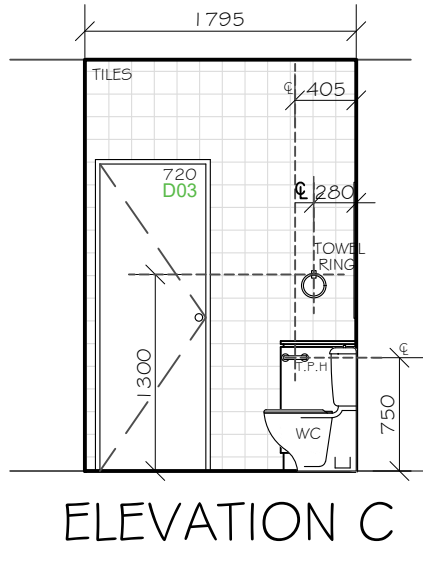
GROUND FLOOR BATHROOM PLAN



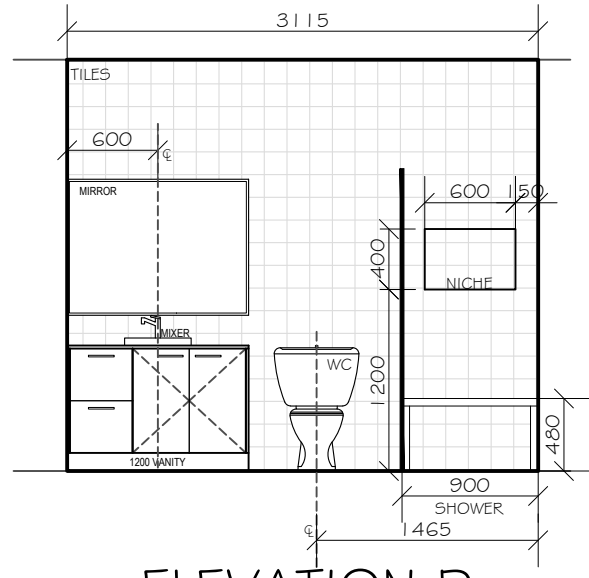
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

NOTES:
1. ALL PLUMBING SETOUT DIMENSIONS ARE FROM THE TIMBER FRAME
2. INTERNAL ELEVATIONS ARE INDICATIVE ONLY. ALL CUPBOARD DIMENSIONS TO BE SITE MEASURED
3. TRADESMAN TO ALLOW EXTRA 30-40mm FOR ANY MOUNTED TAPWARE HEIGHTS

| | | | | | | |
|--|--------------------------------------|--|---|--|--|---|
| NOTE: ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom Design | CLIENT: Mr & Mrs Yu - SITE ADDRESS: Lot B in DP 400662, No 4 Heath Street, Bankstown NSW 2200. | JOB No: 24035 DRAWN: SDC CHECKED: -- Rev: 11 DA Application | P: (02) 4647-2324 E: info@32degreesbuilding.com.au A: Unit 1/14 Bluett Drive, Smeaton Grange, NSW, 2567 MEMBER you're in good hands CONNECT WITH US f t in @ p y | P: (02) 7252-5330 E: info@sydneydraftingconceptsanddesign.com.au A: Suite 106, Level 1, 351 Oran Park Drive, Oran Park, NSW, 2570. W: Sydneydraftingconcepts.com.au bdaa ACCREDITED BUILDING DESIGNER in f y | CLIENT'S SIGNATURE: _____ DATE: _____ I accept and understand the plans and documents that have been provided to me by Sydney Drafting Concepts & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting Concepts & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting Concepts & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only as authorised by Sydney Drafting Concepts & Design Pty Ltd. © COPYRIGHT |
| | FACADE: Traditional | | | | | |
| | SPECIFICATION: STANDARD | | | | | |
| | SCALE: 1:50 GARAGE HAND: RH | | | | | |

NOTES:
Protection of Windows Opening to be in accordance with Volume 1 -

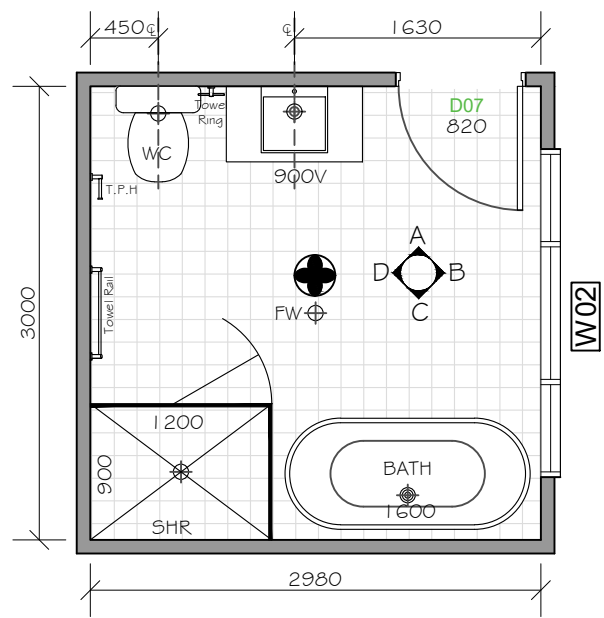
National Construction Code, - Part 11 - Safe movement and access;
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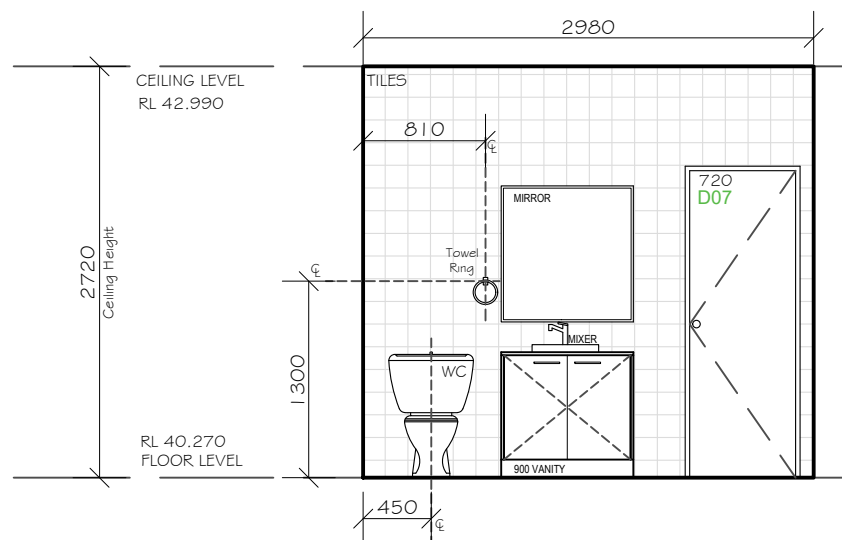
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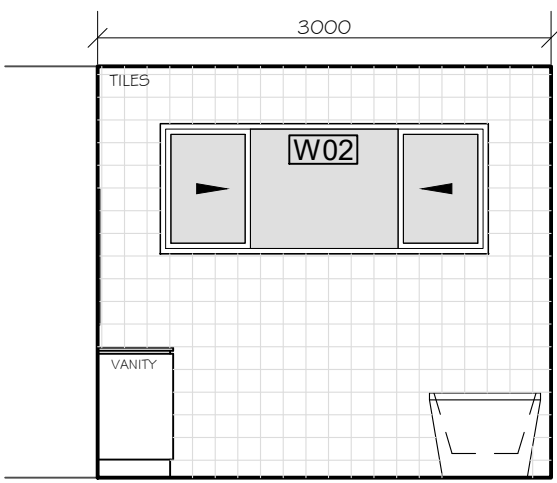
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• ALL APPLIANCES, FIXTURES AND FINISHES TO BE VERIFIED WITH BUILDER. ALL DETAILS ARE INDICATIVE ONLY



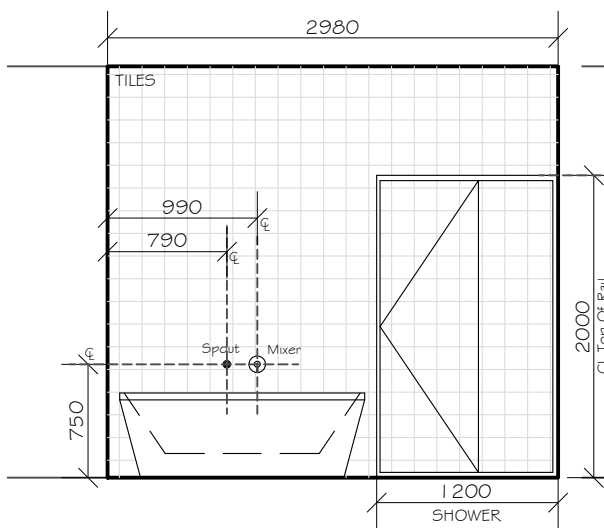
BATHROOM PLAN



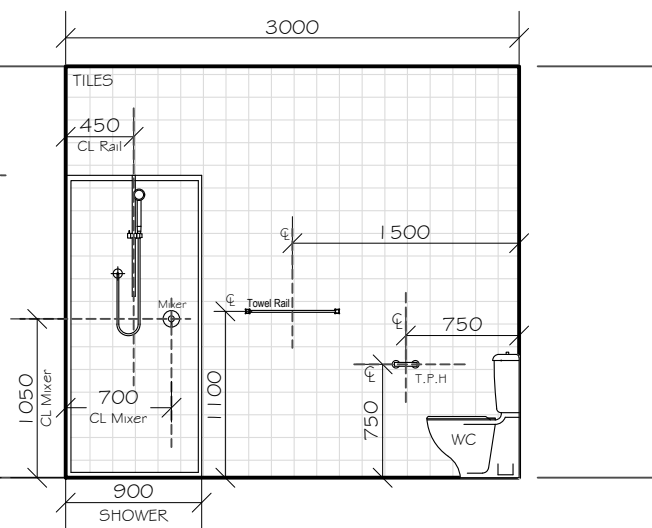
ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

NOTES:

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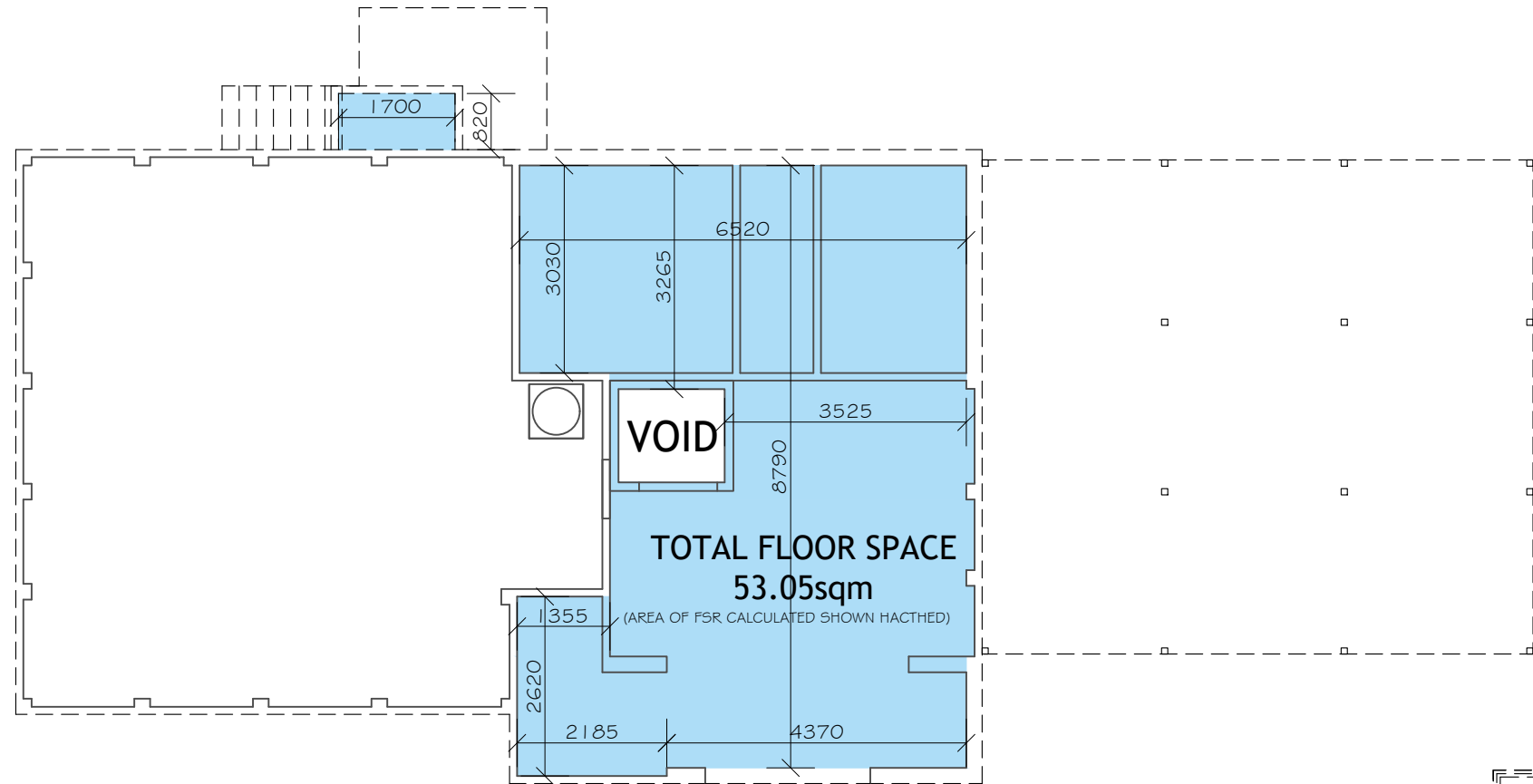
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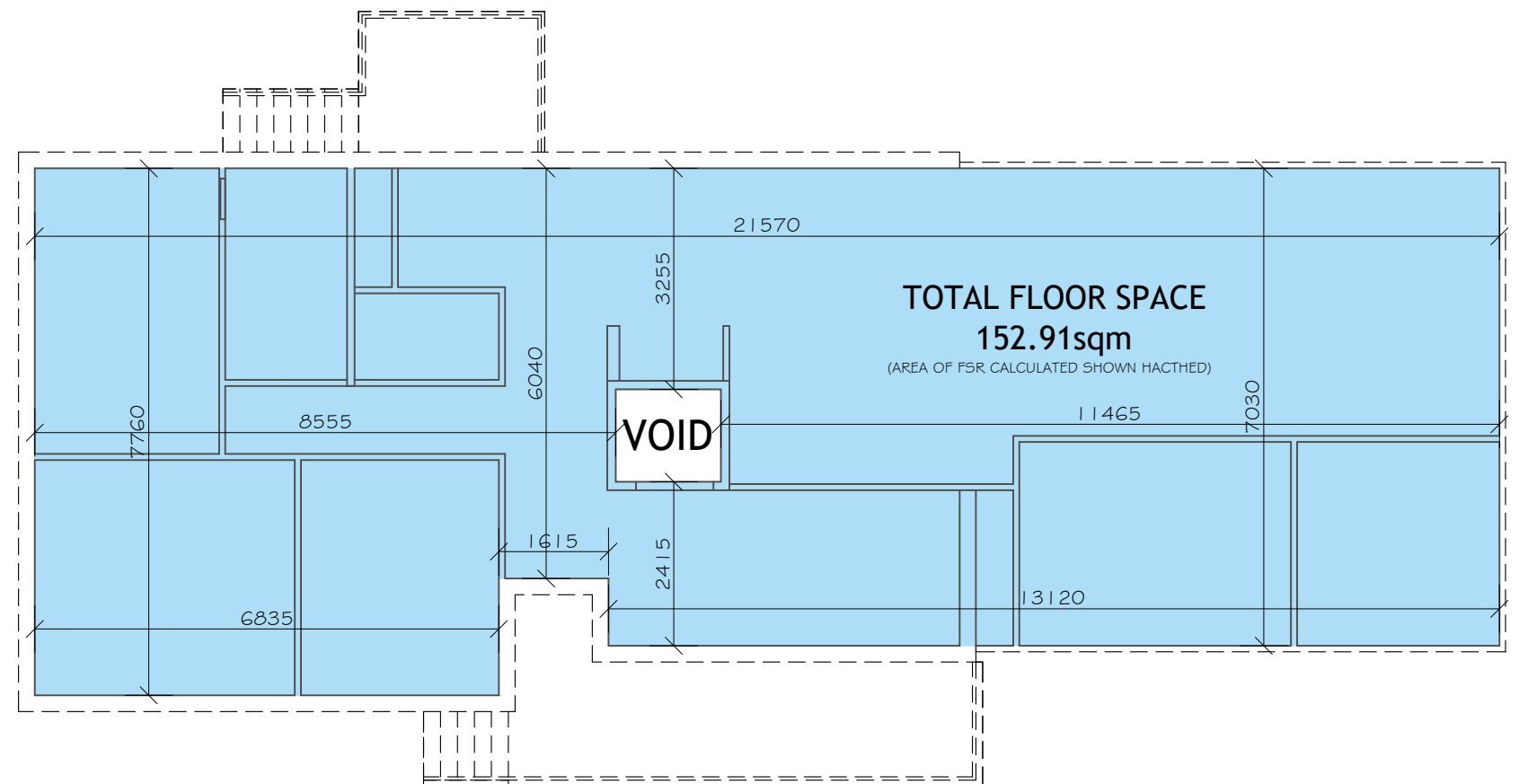


Proposed Lower Floor Plan

FLOOR SPACE RATIO (FSR)

*Areas are measured from the internal face of external walls and excludes First floor; voids, Stairs, Lifts, required car spacing to Australian Standards, Balconies with walls less than 1.4m high (Refer to the LEP or DCP for further details)

| | |
|------------------------|-----------------------|
| SITE AREA | 682.90 m ² |
| LOWER FLOOR | 53.05 m ² |
| GROUND FLOOR | 152.91 m ² |
| TOTAL GROSS FLOOR AREA | 205.96 m ² |
| PROPOSED FSR | 30.16 % |
| ALLOWABLE FSR | 50.00 % |



Proposed Ground Floor Plan



DA APPLICATION

ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER

FLOOR SPACE RATIO BREAKDOWN

NOTE:
ALL DIMENSIONS
ARE IN
MILLIMETERS.
ALL DIMENSIONS
ARE FRAME TO
FRAME. DO NOT
SCALE OFF
PLANS.

HOUSE NAME:
Custom Design
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Traditional
SPECIFICATION:
STANDARD
SCALE:
1:100
GARAGE HAND:
RH

CLIENT:
Mr & Mrs Yu
SITE ADDRESS:
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No 4 Heath Street,
Bankstown NSW 2200.**

JOB No:
24035
DRAWN:
SDC
CHECKED:
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DATE:
11.12.24
SHEET:
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Rev:
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DA Application



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LEGEND

- TEMPORARY CONSTRUCTION FENCE
- SEDIMENT CONTROL FENCE
- WASTE STOCKPILE
- ALL WEATHER ACCESS
- ONSITE PORTABLE TOILET
- SILT SOCK

NOTE:
TEMPORARY SECURITY FENCING TO THE PERIMETER OF BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO SITE.

NOTE:
ALL GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.

2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.

3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.

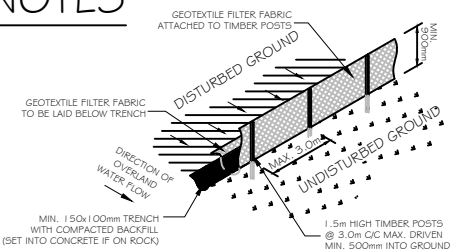
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.

5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.

6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.

8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.



SEDIMENT FENCE
NOT TO SCALE

CONSTRUCTION MANAGEMENT PLAN EROSION & SEDIMENT CONTROL PLAN

NOTE:
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HOUSE NAME:
Custom Design
FACADE:
Traditional
SPECIFICATION:
STANDARD
SCALE:
1:200
GARAGE HAND:
RH

CLIENT:
Mr & Mrs Yu
SITE ADDRESS:
**Lot B in DP 400662,
No 4 Heath Street,
Bankstown NSW 2200.**

JOB No:
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DATE:
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DA Application



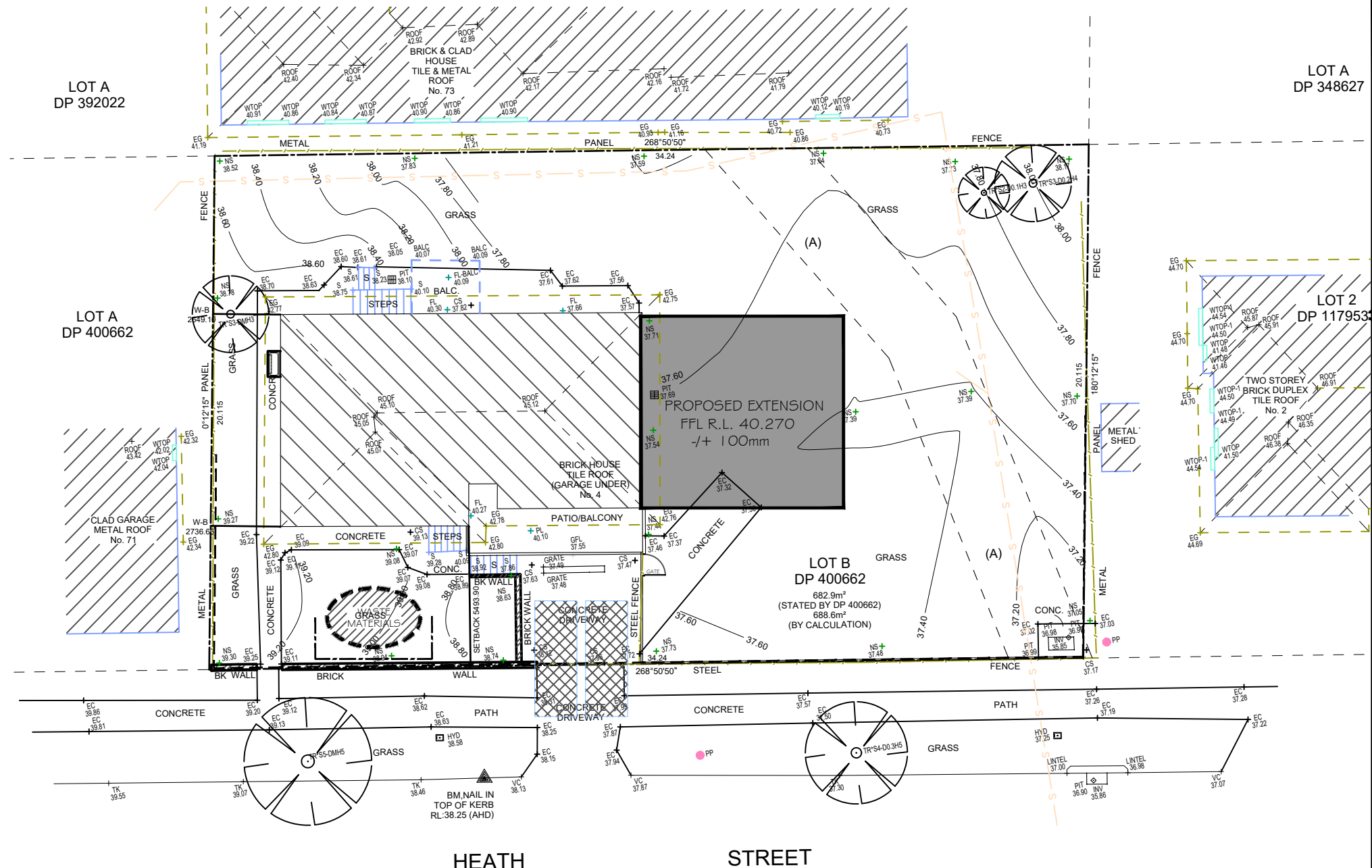
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LOT B
D.P: 400662
L.G.A: Canterbury-Bankstown



DA APPLICATION
ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER

SITE INDUCTION
Before entering site please review and make yourself familiar with Emergency Contacts. Site Specific Hazards and the Site Specific Induction information that is located on the Site Induction Sign. If you have any trouble understanding this instruction, contact the Site Supervisor or Emergency Contact Number located on the sign.
SITE SPECIFIC HAZARDS



STORMWATER TO STREET
FRONTAGE, TO CONNECT TO
EXISTING
TO BE VERIFIED ON SITE BY BUILDER/PLUMBER





NOTE:

- ALL EXISTING SERVICES TO REMAIN AS EXISTING TO BE VERIFIED ON SITE.



NOTE:

- ALL EXISTING STRUCTURES AND WALLS TO BE REMOVED, REFER TO DEMOLITION PLANS IN ARCHITECTURAL PLANS

LEGEND:

| | |
|---|---------------------------|
|  | GRASS AREA |
|  | HARDSTAND / CONCRETE AREA |
|  | PROPOSED EXTENSION |
|  | EXISTING RESIDENCE |

LOT B
D.P: 400662
L.G.A: Canterbury-Bankstown

| | |
|---|------------------------------|
|  | PRIVATE OPEN SPACE |
|  | PRINCIPAL PRIVATE OPEN SPACE |

**** Council App. ****

CANTERBURY-BANKSTOWN DEVELOPMENT CONTROL PLAN 2023
CHAPTER 5 - RESIDENTIAL ACCOMMODATION
5.1 FORMER BANKSTOWN LGA

FLOOR SPACE RATIO (FSR)

*Areas are measured from the internal face of external walls and excludes First floor; voids, Stairs, Lifts, required car spacing to Australian Standards, Balconies with walls less than 1.4m high (Refer to the LEP or DCP for further details)

| | |
|------------------------|-----------------------|
| SITE AREA | 682.90 m ² |
| LOWER FLOOR | 53.05 m ² |
| GROUND FLOOR | 152.91 m ² |
| TOTAL GROSS FLOOR AREA | 205.96 m ² |
| PROPOSED FSR | 30.16 % |
| ALLOWABLE FSR | 50.00 % |

PRIVATE OPEN SPACE (POS)

| | |
|------------------------------|-----------------------|
| PROPOSED POS | 220.00 m ² |
| MIN. POS REQUIRED BY COUNCIL | 80 m ² |

LANDSCAPE

| | | |
|-------------------------------|--------|----------------|
| FRONT YARD AREA | 201.21 | m ² |
| FRONT YARD LANDSCAPING | 134.40 | m ² |
| AMOUNT OF FRONT YARD L/SCAPED | 66.80 | % |
| MIN. ALLOWABLE BY NSW H/CODE: | 45 | % |

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SITE SPECIFIC HAZARDS

CLIENT'S SIGNATURE: _____

DATE: _____

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LANDSCAPE PLAN

NOTE:
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ALL DIMENSIONS
ARE FRAME TO
FRAME. DO NOT
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PLANS.

| | |
|----------------|--------------|
| HOUSE NAME: | |
| Custom Design | |
| FACADE: | |
| Traditional | |
| SPECIFICATION: | |
| STANDARD | |
| SCALE: | GARAGE HAND: |
| 1:200 | RH |

CLIENT: Mr & Mrs Yu
-
SITE ADDRESS: Lot B in DP 400662,
No 4 Heath Street,
Bankstown NSW 2200

| | | |
|----------------|----------------|------|
| JOB No: 24035 | | |
| DRAWN: SDC | DATE: 11.12.24 | Rev: |
| CHECKED: -- | SHEET: 22 | 11 |
| DA Application | | |



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


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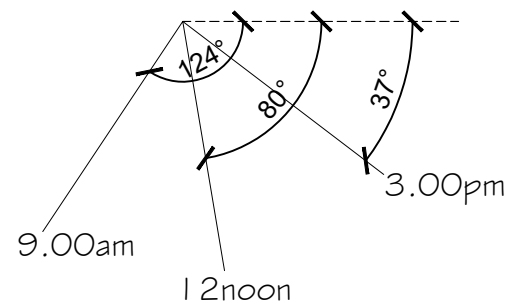
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(A) -EASEMENT FOR DRAINAGE 3.05 WIDE (G886640)(A227950)(VOL 7484 FOL 29).

ALL EXISTING LANDSCAPING AND HARD SURFACES TO REMAIN UN ALTERED AS PER CURRENT SITE CONDITIONS

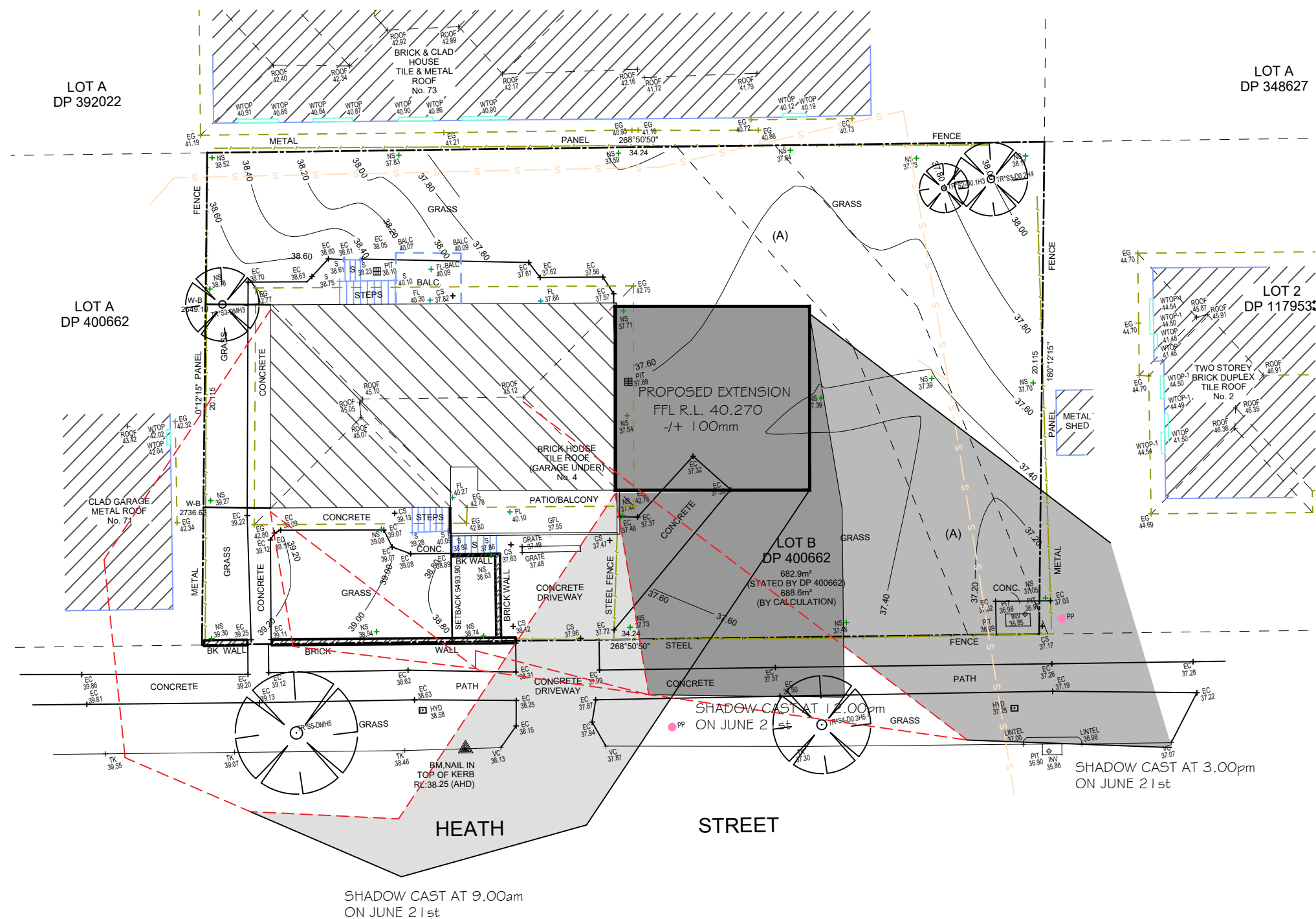
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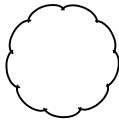


- SHADOW CAST BY EXISTING DWELLING
- SHADOW CAST AT 9.00am ON JUNE 21st
- SHADOW CAST AT 12.00pm ON JUNE 21st
- SHADOW CAST AT 3.00pm ON JUNE 21st


SHADOW DIAGRAM - 21st JUNE
FIRST FLOOR OF HOUSE ONLY

| | | | | | | | | |
|---|------------------------------|--------------------|--|------------------|------------|--|---|---|
| NOTE: ALL DIMENSIONS ARE IN MILLIMETERS. ALL DIMENSIONS ARE FRAME TO FRAME. DO NOT SCALE OFF PLANS. | HOUSE NAME: Custom Design | | CLIENT: Mr & Mrs Yu - SITE ADDRESS: Lot B in DP 400662, No 4 Heath Street, Bankstown NSW 2200. | JOB No: 24035 | |  <p>P: (02) 4647-2324 E: info@32degreesbuilding.com.au A: Unit 1/14 Bluett Drive, Smeaton Grange, NSW, 2567</p>  <p>MEMBER you're in good hands</p> <p>CONNECT WITH US</p>       |  <p>P: (02) 7252-5330 E: info@sydneydraftingconceptsanddesign.com.au A: Suite 106, Level 1, 351 Oran Park Drive, Oran Park, NSW, 2570. W: Sydneydraftingconcepts.com.au</p>  <p>ACCREDITED BUILDING DESIGNER</p>    <p>MEMBER you're in good hands</p> | CLIENT'S SIGNATURE: _____ DATE: _____ I accept and understand the plans and documents that have been provided to me by Sydney Drafting Concepts & Design Pty Ltd. ALL RIGHTS RESERVED. This plan is the property of Sydney Drafting Concepts & Design Pty Ltd. Copyright in this document is owned by Sydney Drafting Concepts & Design Pty Ltd. Under the provisions of the Copyright ACT 1968 and is intended for use only authorised by Sydney Drafting Concepts & Design Pty Ltd. © COPYRIGHT |
| | FACADE: Traditional | | | | | | | |
| | SPECIFICATION: STANDARD | | | | | | | |
| | SCALE: 1:200 | GARAGE HAND: RH | | | | | | |
| | DRAWN: SDC | | | DATE: 11.12.24 | Rev: 11 | | | |
| CHECKED: -- | | SHEET: 23 | | | | | | |
| DA Application | | | | | | | | |


LEGEND



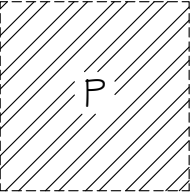
DENOTES EXISTING TREES TO BE RETAINED




DENOTES EXISTING TREES TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION




NUMBER OF STOREYS




PRINCIPAL PRIVATE OPEN SPACE



MAIN VIEWS



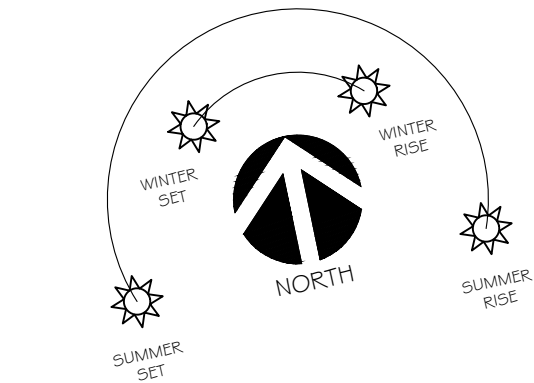
NOISE IMPACT



PREVAILING WINDS

DA APPLICATION
ALL DIMENSIONS TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY BUILDER

LOT B
D.P: 400662
L.G.A: Canterbury-Bankstown



SITE ANALYSIS PLAN

NOTE:
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HOUSE NAME:
Custom Design

FACADE:
Traditional

SPECIFICATION:
STANDARD

SCALE:
1:200

GARAGE HAND:
RH

CLIENT:
Mr & Mrs Yu

SITE ADDRESS:
**Lot B in DP 400662,
No 4 Heath Street,
Bankstown NSW 2200.**

JOB No:
24035

DRAWN:
SDC


CHECKED:
--

DATE:
11.12.24

SHEET:
24

Rev:
11

DA Application



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A: Unit 1/14 Bluett Drive,
Smeaton Grange, NSW, 2567


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SYDNEY DRAFTING
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W: Sydneydraftingconcepts.com.au

ACCREDITED
BUILDING DESIGNER

in f y

CLIENT'S SIGNATURE: _____

DATE: _____

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